

HADLEY PARK STAGE 1

14-278 Old Castlereagh Road, Castlereagh, NSW 2749

ARCHITECTURAL DRAWING LIST

WD001 Cover Page

WD100 Site Plan - Existing

WD200 Main House Plans - Existing
WD201 Main House Elevations - Existing
WD202 Main House Roof Plan and Laundry Elevations - Existing

WD300 Weatherboard Cottage Plan - Existing
WD301 Weatherboard Cottage Elevations - Existing
WD302 Reference Images - Gate, Chimneys, Render

WD400 Stables and Garage Plan - Existing
WD401 Stables and Garage Elevations - Existing

WD500 Creamery Plan - Existing
WD501 Creamery Elevations - Existing

WD600 Dairy and Milk Storage Shed Plan - Existing
WD601 Dairy and Milk Storage Shed Elevations - Existing
WD602 Race and Fencing Plan - Existing

WD700 Feed Store and Cow Bails Plan - Existing
WD701 Feed Store and Cow Bails Elevations - Existing
WD702 Feed Store and Cow Bails Roof Plan - Existing

WD800 Guest House Plan - Existing
WD801 Guest House Elevations - Existing

WD900 Hay Shed Plan - Existing Ground and Roof
WD901 Hay Shed Elevations - Existing

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE
STRUCTURAL AND CIVIL DOCUMENTATION.

STRUCTURAL DRAWING LIST

1842- S101 House Notes

1842- S102 House Ground Floor

1842- S103 House First Floor and Lower Ceiling Plans

1842- S104 House Upper Ceiling and Lower Roof Plans

1842- S105 House Elevations

1842- S106 House Sections and Details

1842- S107 Weatherboard Cottage Roof Framing Remedial Work Plan and Details

1842- S108 Timber Remedial Works Sections and Details Sheet 1

1842- S109 Timber Remedial Works Sections and Details Sheet 2

CONSULTANT CONTACT DETAILS

Consultant Structural - Ducros Design
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Telephone: 9488 7374
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Email: mark@ducrosdesign.com.au

GENERAL NOTES

EXISTING MATERIALS WHICH HAVE
PREVIOUSLY BEEN REMOVED FROM THE
BUILDINGS ARE STOCKPILED IN THE FEED
STORAGE SHED.

NO EXISTING FABRIC IS TO BE REMOVED FROM
SITE OR DISPOSED OF WITHOUT WRITTEN
APPROVAL OF THE ARCHITECT.

SALVAGE LOOSE MATERIAL WHEREVER
POSSIBLE FOR POTENTIAL REINSTATEMENT
OR FUTURE USE.

SALVAGED MATERIAL NOT INCORPORATED IN
THE WORK IS TO BE STORED WITHIN STORAGE
SHED 2.

REVIEW THE CONDITION OF ALL SALVAGED
ITEMS. DETERMINE IF IT IS POSSIBLE TO
REINSTATE THEM IN THEIR ORIGINAL
LOCATION.

THE RETENTION OF EXISTING MATERIAL IS TO
BE MAXIMISED. IF EXISTING MATERIAL IS NOT
ABLE TO BE REPAIRED OR REINSTATED,
REPLACE WITH NEW TO MATCH EXISTING.

ALL MATERIALS AND SPECIFICATIONS ARE TO
MATCH THE EXISTING WITH LIKE FOR LIKE
REPLACEMENTS BEING APPROVED BY THE
ARCHITECT PRIOR TO THE INCORPORATION.

ALL NEW MATERIALS ARE TO BE INDELIBLY
AND DISCRETELY MARKED WITH THE YEAR OF
INSTALLATION IN ORDER TO DISTINGUISH
THEM FROM THE EXISTING FABRIC.

HEAVY MACHINERY IS NOT TO BE USED WITHIN
2 METRES OF THE EXTERIOR OF BUILDINGS
AND STRUCTURES.

ALL WORKS ARE TO BE UNDERTAKEN BY
SUITABLY QUALIFIED AND EXPERIENCED
TRADESPEOPLE.

VEGETATION ENCROACHING WITHIN THE
BUILDINGS, INCLUDING ROOFS AND FLOORS,
IS TO BE REMOVED.

BEFORE PRUNING OR LOPPING ANY TREES OR
SIGNIFICANT VEGETATION, OBTAIN ADVICE
FROM A HERITAGE LANDSCAPE CONSULTANT
AND ARBORIST.

EXISTING UNPAINTED ITEMS ARE TO REMAIN
UNPAINTED.

ARCHAEOLOGY NOTES

AN ARCHAEOLOGIST APPOINTED BY THE
PRINCIPAL IS TO SUPERVISE ALL EXCAVATION
WORKS, AND WORKS TO FLOORS AND OTHER
AREAS WHERE FINDS ARE LIKELY.

MANY MOVEABLE ITEMS HAVE BEEN FOUND IN
THE SOIL AROUND BUILDINGS AND DIRT
FLOORS WITHIN THE BUILDINGS. IT IS LIKELY
THAT MANY REMAIN. WHERE DIRT FLOORS
AND SOIL ARE NOTED TO BE REGRADED,
WORKS ARE TO BE CARRIED OUT WITH
SUPERVISION OF AN ARCHAEOLOGIST. ANY
OBJECTS EXPOSED ARE TO HAVE THEIR
LOCATIONS AND DETAILS RECORDED AND
RETAINED FOR INCLUSION IN THE MOVEABLE
COLLECTION STORED OFF-SITE.

METALWORK NOTES

ALL IRONMONGERY IS TO BE RETAINED IN
PLACE.

CHECK ALL ROOF SHEETS AND RE-SECURE AS
NECESSARY. FIXINGS TO MATCH EXISTING.

SALVAGE FALLEN SHEETS AND REVIEW
CONDITION FOR REINSTATEMENT.

ANY NEW SHEETS OF ROOF AND WALL
CLADDING ARE TO BE SUPPLIED IN SHORT
SHEET LENGTHS AND MATCH THE EXISTING
PROFILE AND FINISH

TREAT RUST WITH 'PENETROL' OR SIMILAR.

BRICKWORK NOTES

LOOSE BRICKS ARE TO BE SALVAGED AND
REVIEWED FOR RE-USE IN THE WORKS.
BRICKS SUITABLE FOR RE-USE ARE TO BE
DESALINATED PRIOR TO USE.

REPLACEMENT OF FRETTED BRICKWORK IS TO
BE UNDERTAKEN IN ACCORDANCE WITH
STRUCTURAL ENGINEER'S ADVICE AND IN
CONSULTATION WITH THE ARCHITECT.

WHERE REPOINTING OR REPLACEMENT OF
MORTAR IS REQUIRED, NEW MORTAR IS TO
MATCH EXISTING. SAMPLES TO BE PROVIDED
TO ARCHITECT FOR APPROVAL PRIOR TO
WORKS. REPAIRS TO CRACKING AND POINTING
ARE TO BE IN ACCORDANCE WITH
STRUCTURAL ENGINEER'S ADVICE.

ARCHIVAL RECORDING

PRIOR TO ANY DISASSEMBLY OR DEMOLITION
WORKS, THE EXISTING ASSEMBLY IS TO BE
DOCUMENTED IN ACCORDANCE WITH THE
NSW HERITAGE OFFICE GUIDELINES FOR
ARCHIVAL RECORDING.

TIMBER NOTES

INSPECT ALL TIMBER MEMBERS FOR DECAY
AND DAMAGE. DRILL TEST AREAS IDENTIFIED
IN ACCORDANCE WITH STRUCTURAL
ENGINEER'S ADVICE.

SPLICE EXTEND MEMBERS WHERE DAMAGE IS
PARTIAL IN ACCORDANCE WITH DOCUMENTED
DETAILS.

WHERE TIMBER MEMBERS ARE IN CONTACT
WITH THE GROUND, INJECT WITH
PENETRATING PRESERVATIVE. APPROVED BY
ARCHITECT PRIOR TO USE.

RE-FIX ANY LOOSE ITEMS. FIXINGS TO MATCH
EXISTING.

SALVAGE FALLEN WALL SLABS, TIMBER AND
METAL CLADDING. REVIEW CONDITION FOR
REINSTATEMENT.

EXPOSED ENDS OF TIMBER MEMBERS ARE TO
BE TREATED WITH PENETRATING
PRESERVATIVE. APPROVED BY ARCHITECT
PRIOR TO USE.

INSTALL NEW POSTS USING DURABILITY CLASS
2 HARDWOOD.

CONCRETE NOTES

RE-PACK UNDER EXISTING CONCRETE SLABS
WHERE SUB-GRADE HAS WASHED OUT.

STORMWATER DRAINAGE NOTES

THE EXISTING STORMWATER DRAINAGE LINES
ARE TO BE CHECKED TO ENSURE THEY DRAIN
FREELY. EXISTING DOWNPIPES TO THE HOUSE
ARE TO BE CONNECTED BELOW GROUND TO
THE EXISTING SYSTEM. REFER TO
CIVIL/SERVICES ENGINEERING
DOCUMENTATION.

HYDRAULIC SERVICES

CAP OFF HYDRAULIC SERVICES IN THE
EXISTING LAUNDRY BUILDING TO FACILITATE
THE BUILDING'S DEMOLITION.

PEST MANAGEMENT NOTES

EXISTING PEST CONTROL MEASURES IN PLACE
ARE TO BE MAINTAINED UNDISTURBED DURING
THE WORKS. IF DISTURBANCE IS
UNAVOIDABLE, ALLOW EQUIVALENT
TEMPORARY MEASURES FOR THE DURATION
OF THE PROJECT.

WHERE EXPOSING THE BASE OF MEMBERS
SET INTO THE GROUND, CLEAR OUT ANY
TERMITE NESTS OR SIMILAR AND AFFECTED
SOIL, IF FOUND.

GENERAL NOTES

All building work to comply with relevant Australian Standards.
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construction. Figured dimensions to be used at all times.
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reference to boundaries, building lines, etc. Contractor to verify all
levels, heights and dimensions on site. Contractor is to locate and
identify existing services on the site and to protect these from
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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
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Jennifer Preston | Nominated Architect
Registration Number 6596

300MM ON ORIGINAL

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

COVER SHEET AND NOTES

SCALE SHEET SIZE
N.T.S. A3

DESIGNED DRAWN CHECKED

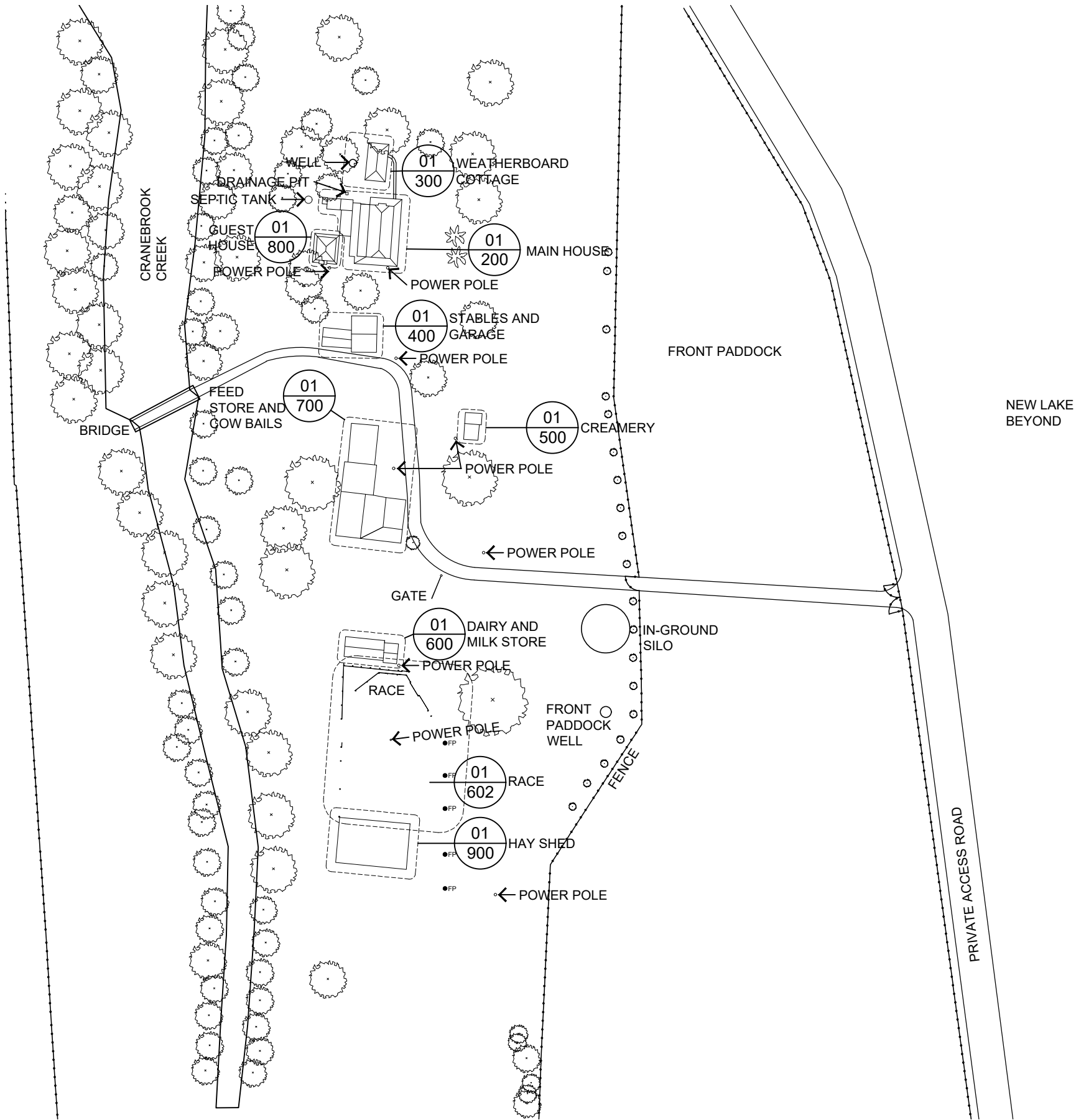
JP MS JP

JOB No. DRAWING No. REVISION

2110 WD001 F

A3

0 10 20 30 40 50 60 70 80 90 100



NOTES:

FRONT PADDOCK WELL:
NUMBER AND RECORD THE LOCATION OF THE BRICKS IN THE TOP 6 COURSES OF THE WELL.
WHEN FIRST 6 COURSES HAVE BEEN DISMANTLED, INVESTIGATE THE METAL STRAPPING AND TREAT WITH 'PENETROL' OR SIMILAR AND RESET.
POISON TREE ROOT AND REMOVE.
DRY LAY THE BRICKS IN THE SAME LOCATIONS AS PREVIOUSLY. FOR THE LAST 3 COURSES FILL PERPENDS WITH SUITABLE SOFT LIME MORTAR AND FLAUNCH AT THE BACK.
REGRADE THE GROUND SURFACE AROUND THE WELL TO PREVENT OVERLAND FLOW ENTERING THE WELL.
SPRAY FIRST 1.2 m (OR AS FAR AS PRACTICAL REACH ALLOWS) WITH LIME WATER TO REDUCE SURFACE FRETTING. ALLOW FOR ARCHAEOLOGICAL SUPERVISION TO ALL WORKS TO THE WELL.

FENCES AND GATES:
PROVIDE NEW HARDWOOD TIMBER POSTS TO EXISTING HOLES. ALLOW FOR 5 POSTS TO EXTEND 1450 mm ABOVE FINISHED GROUND LEVEL POST TO MATCH EXISTING.
FOR ALL EXISTING AND NEW POSTS SET INTO THE GROUND, POLE INFUSE WITH PENETRATIVE PRESERVATIVE.
CHECK OVER EXISTING FENCES AND GATES. RE-FIX LOOSE RAILS. TREAT RUST ON HINGES AND HARDWARE WITH 'PENETROL' OR SIMILAR.
FOR ALL EXISTING AND NEW TIMBER POSTS SET INTO GROUND, POLE INFUSE WITH PENETRATING PRESERVATIVE.
RECONSTRUCT FRONT GATE FROM PIECES STORED ON SITE. REPAIR TIMBERS AS NEEDED. ONCE COMPLETE, STORE SECURELY ON SITE FOR FUTURE REINSTATEMENT. REFER TO WD302 FOR IMAGES.

LEGEND:
ESTIMATED POSITION OF EXISTING HOLE OF FORMER FENCE POST. INFILL WITH NEW POST PER "FENCES AND GATES" ABOVE.

01 PLAN
-- SITE
1:1000

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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



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AND ENVIRONMENT
PROJECT TITLE
HADLEY PARK STAGE 1
PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
SITE PLAN
SCALE
1:1000
SHEET SIZE
A3
DESIGNED
MB
DRAWN
JP
CHECKED
JP
JOB No.
2110
DRAWING No.
WD100
REVISION
G

GENERAL NOTES:

HOUSE:

BRICKS ARE TO BE TREATED WITH LIME WATER AND LIME WASHED IN ACCORDANCE WITH THE AGREED METHODOLOGY.
INSPECT ALL VERANDAH POSTS AND BASES. RESET AND CORRECT AS NECESSARY. CHECK SCARFED JOINTS AND RESEAT IF SEPARATING.
CHECK OVER ALL ROOF SHEETS AND RE-SECURE AS NECESSARY. FIXINGS TO MATCH EXISTING.
INSPECT ALL FLASHINGS AND CAPPINGS. REPAIR AND CORRECT AS NECESSARY.

STORMWATER DRAINAGE:

RE-ROUTE EXISTING DOWNPIPES TO DRAIN BELOW GROUND TO PIT NEAR LAUNDRY. CHECK PIT AND LINES DRAIN CORRECTLY. EXTEND OUTLET TO CRANEBROOK CREEK TO WEST OF SITE.

KEY:

REMOVE SACRIFICIAL RENDER, CLEAN AND LIMEWASH BRICKS TO APPROVED METHODOLOGY. REFER TO WD302 FOR IMAGES.

AREAS OF FLOOR OPENED UP PREVIOUSLY

ADJUST AND RESEAT DOOR

POST HAS DROPPED. RESET.

REPAIR WALER TO STRUCTURAL ENGINEER'S DETAILS

OPEN UP FIBRO PART OF CEILING TO INVESTIGATE CONDITION OF CEILING TIMBERS

POWER POLE

TAKE UP CONCRETE VERANDAH FLOOR AND REPLACE WITH SANDSTOCK BRICK PAVERS TO DETAIL.

ALLOW TO PATCH REPAIR 30% OF CEILING

ALLOW TO PATCH REPAIR 50% OF CEILING

STRAIGHTEN ALL VERANDAH BEAMS OVER, SHOWN DASHED.

REVIEW STABILITY OF WC BEFORE DEMOLISHING LAUNDRY. REPLACE ANY MISSING OR SEVERELY DAMAGED WEATHERBOARDS WITH NEW TO MATCH EXISTING.

DEMOLISH LAUNDRY. ALLOW NEW TEMPORARY PROPS TO SUPPORT VERANDAH ROOF DURING DEMOLITION. ALLOW FOR NEW POSTS TO SUPPORT VERANDAH ROOF ONCE DEMOLITION WORKS ARE COMPLETE.

INVESTIGATE AND REPAIR LEAKS TO LOWER ROOF.

NEW POST TO STRUCTURAL ENGINEER'S DETAILS

DIRECT AND CONNECT STORMWATER FROM HOUSE UNDERGROUND TO THIS PIT. REFER TO STORMWATER DRAINAGE UNDER GENERAL NOTES OF THIS DRAWING.

EXISTING LEAD FLASHING HAS SLIPPED. REFIT AND REPOINT AT WALL WITH LIME MORTAR.

REPAIR VERANDAH ROOF TO METHODOLOGY AS AGREED WITH ARCHITECT.

DISMANTLE EXISTING STONE CHIMNEY PIECE AND RECONSTRUCT LEVEL AND SOUND. REFER TO WD302 FOR IMAGES.

REINSTATE POST TO STRUCTURAL ENGINEER'S DETAILS.

LINE OF UPPER ROOF OVER SHOWN DASHED.

REVIEW VERANDAH ROOF BATTENS. ALLOW TO REPAIR AS NECESSARY.

DETACH JOINED ROOF ELEMENTS AND MAKE GOOD SO WC IS SOUND AND WATERTIGHT.

ALLOW NEW POST TO SUPPORT THIS AREA OF ROOF TO STRUCTURAL ENGINEER'S DETAILS.

REMOVE EXISTING WALER PLATE TO STRUCTURAL ENGINEER'S DETAILS.

REFER TO 05/WD202 FOR ROOF PLAN.

REMOVE EXISTING QUAD GUTTERS AND EXISTING GUTTER BRACKETS FROM HOUSE. REPLACE WITH NEW HALF-ROUND GALVANISED STEEL GUTTERS SIZED TO HYDRAULIC CONSULTANTS SPECIFICATION ON NEW GALVANISED STEEL DOWNPIPES IN EXISTING LOCATIONS. CONNECT ALL DOWNPIPES TO NEW STORMWATER DRAINAGE INGROUND.

ALLOW TO PATCH REPAIR 50% OF LATH AND PLASTER CEILING. CHECK CONDITION OF TIMBER BOARD CEILING.

01 PLAN
--
MAIN HOUSE GROUND FLOOR
1:100

02 PLAN
--
MAIN HOUSE FIRST FLOOR
1:100

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CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



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PROJECT TITLE

HADLEY PARK STAGE 1

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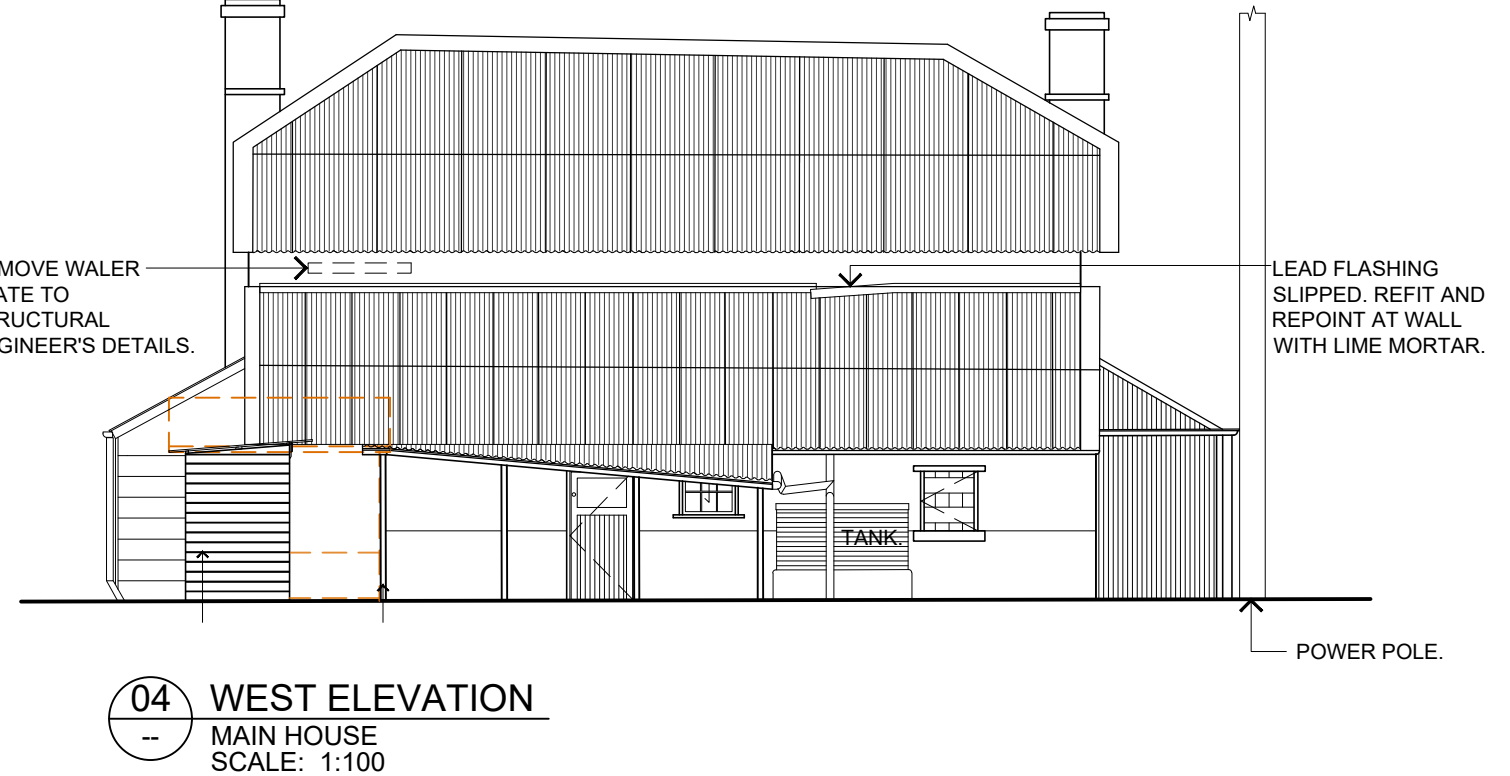
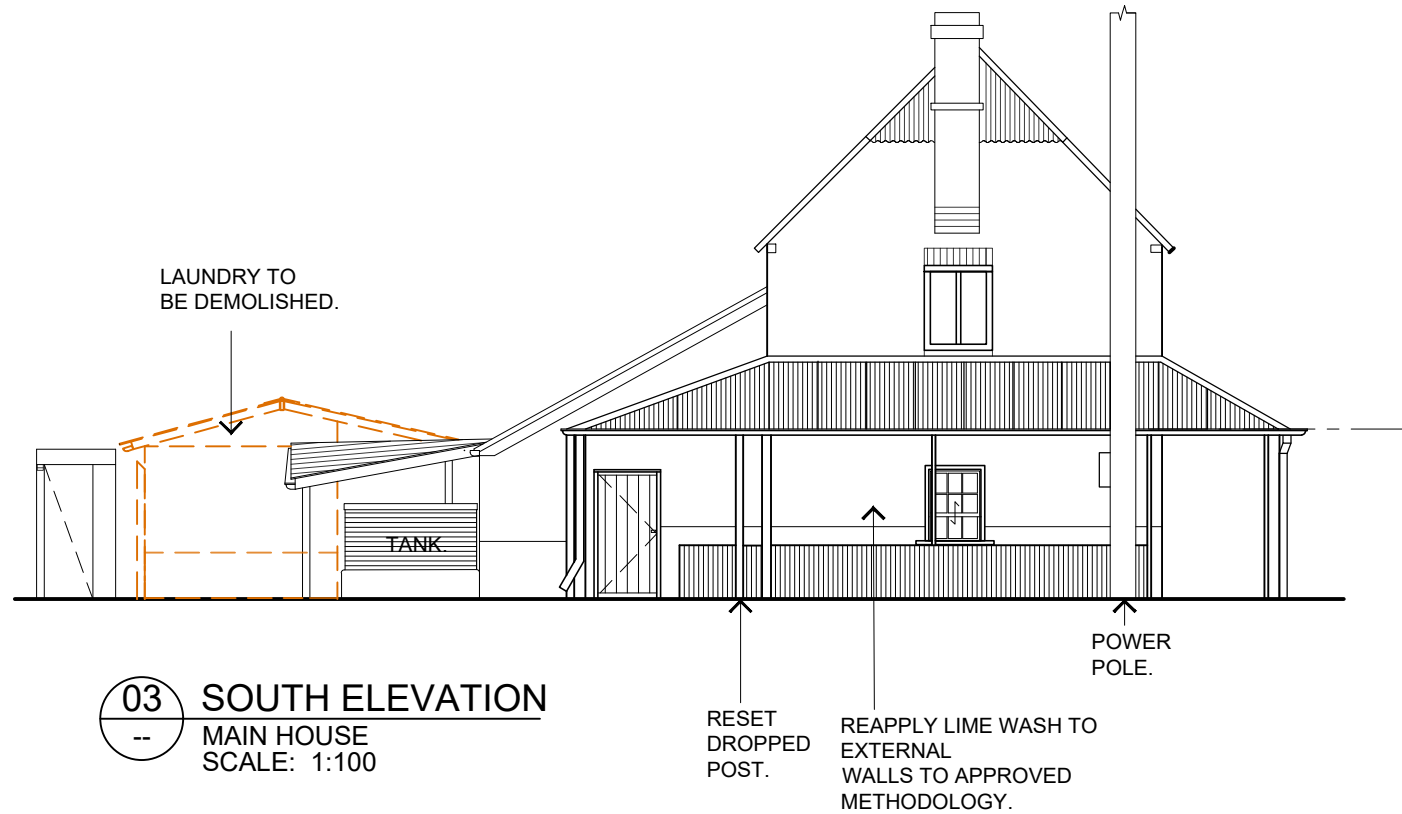
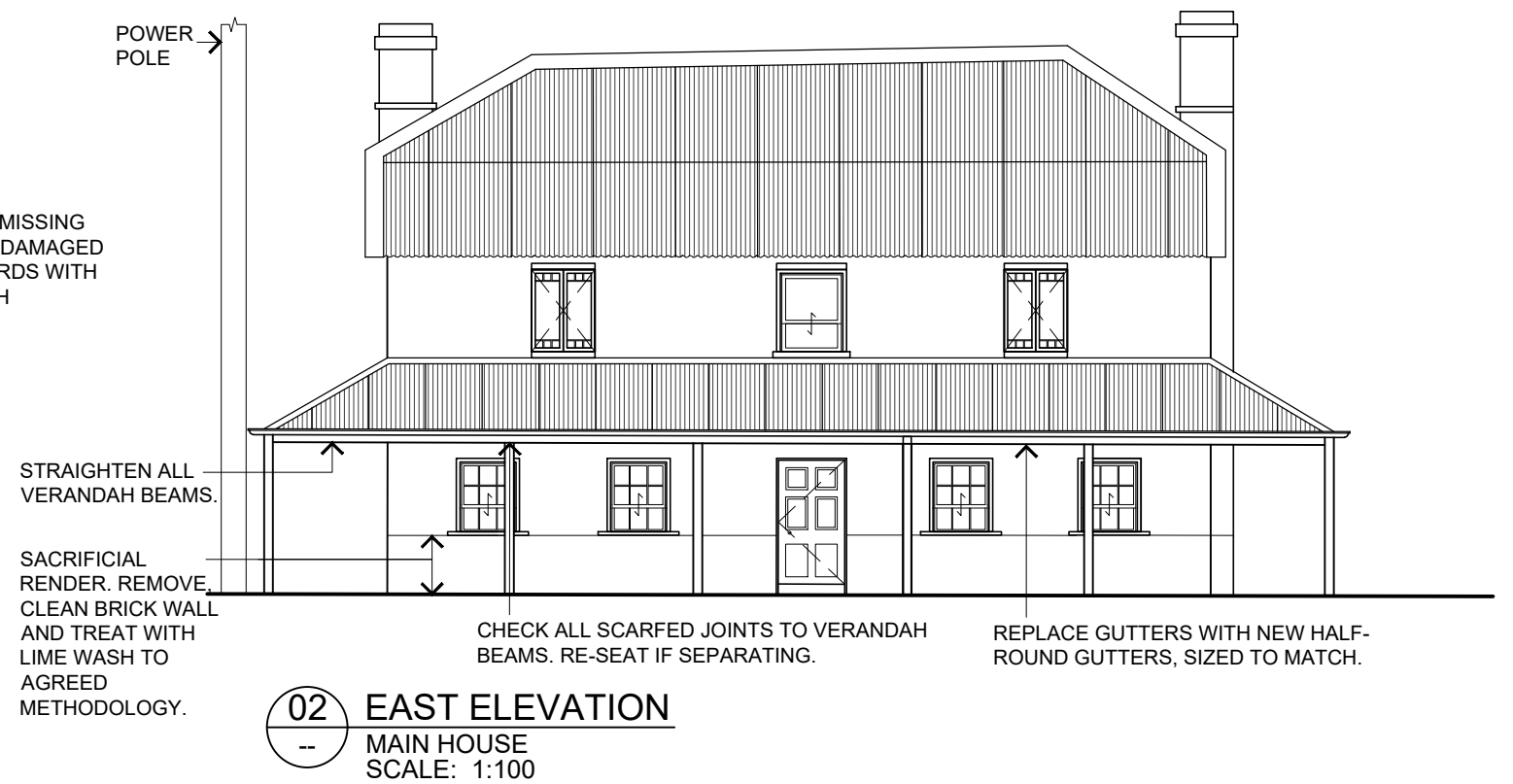
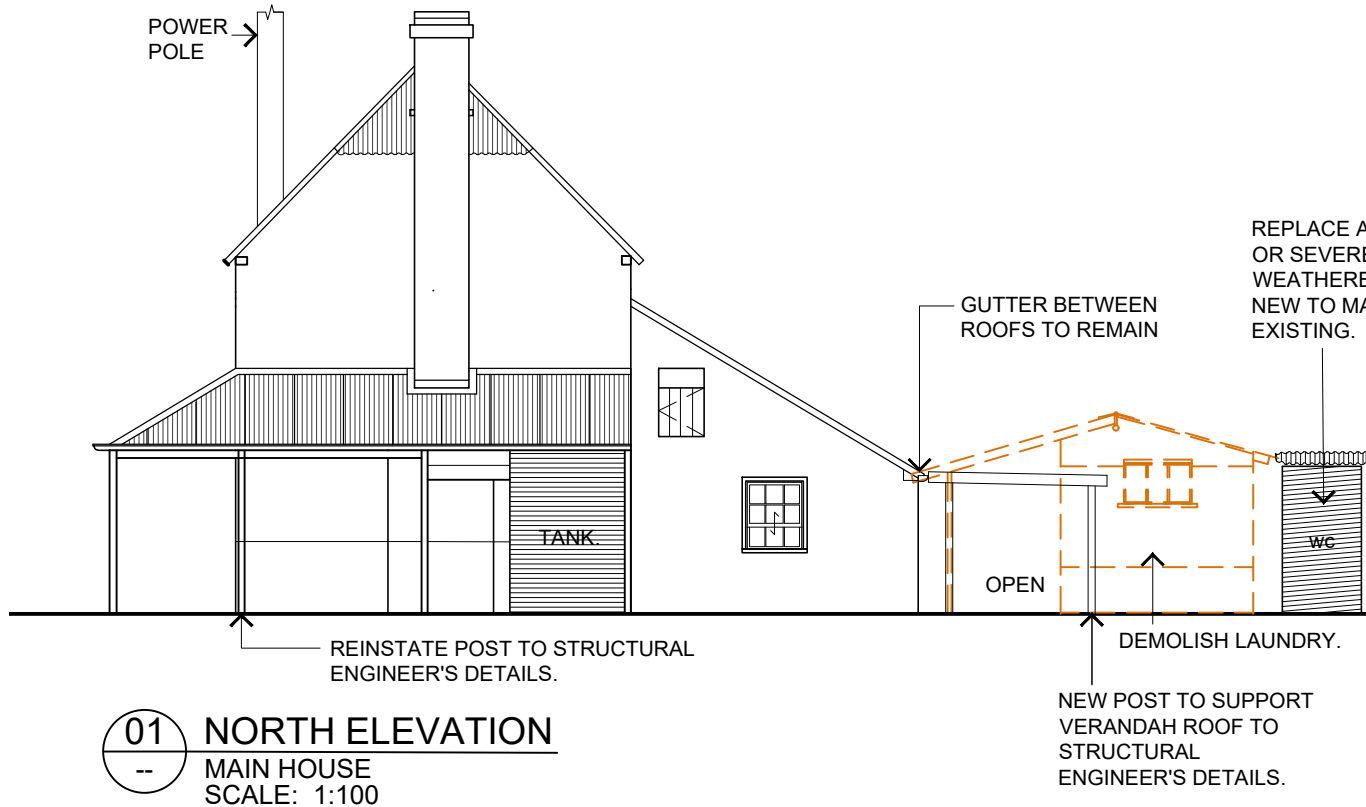
DRAWING TITLE

MAIN HOUSE
PLANS

SCALE SHEET SIZE
1:100 A3

DESIGNED DRAWN CHECKED
- MB JP

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2110 WD200 H



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DRAWING TITLE

MAIN HOUSE
ELEVATIONS

SCALE SHEET SIZE

1:100 A3

DESIGNED DRAWN CHECKED

MS JP

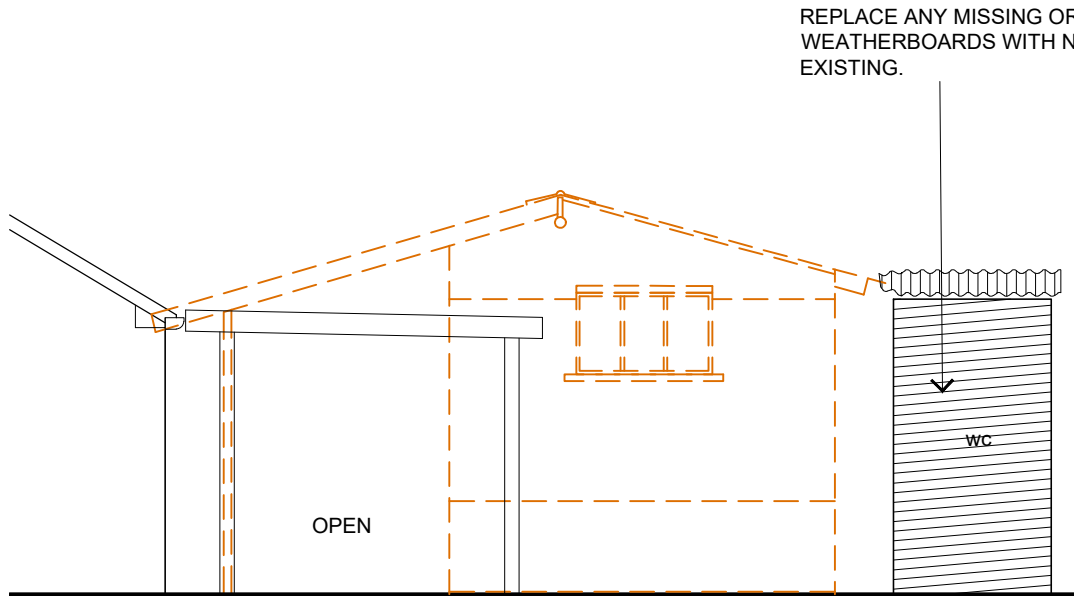
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2110 WD201 H

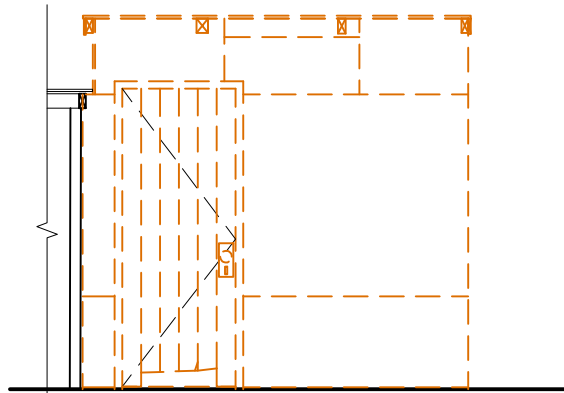
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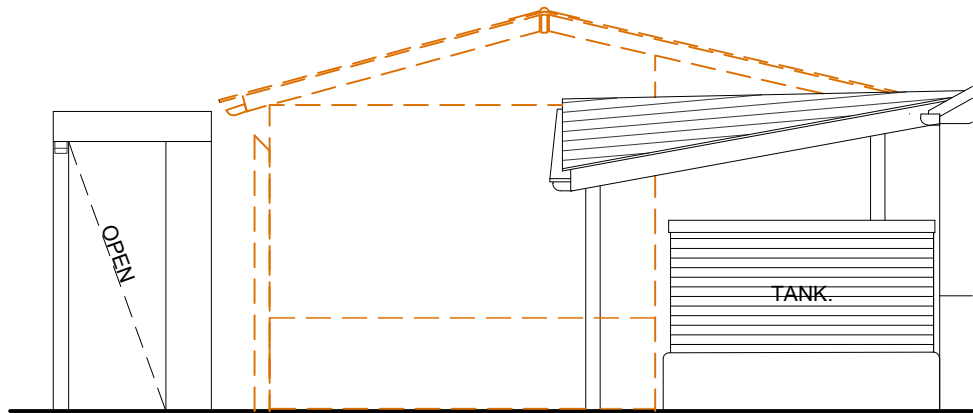
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CHECK ALL DIMENSIONS ON SITE.



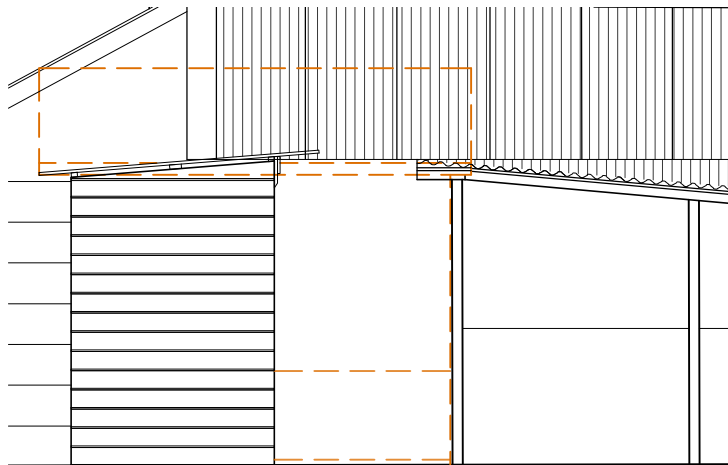
01 NORTH ELEVATION
LAUNDRY AND WC
SCALE: 1:50



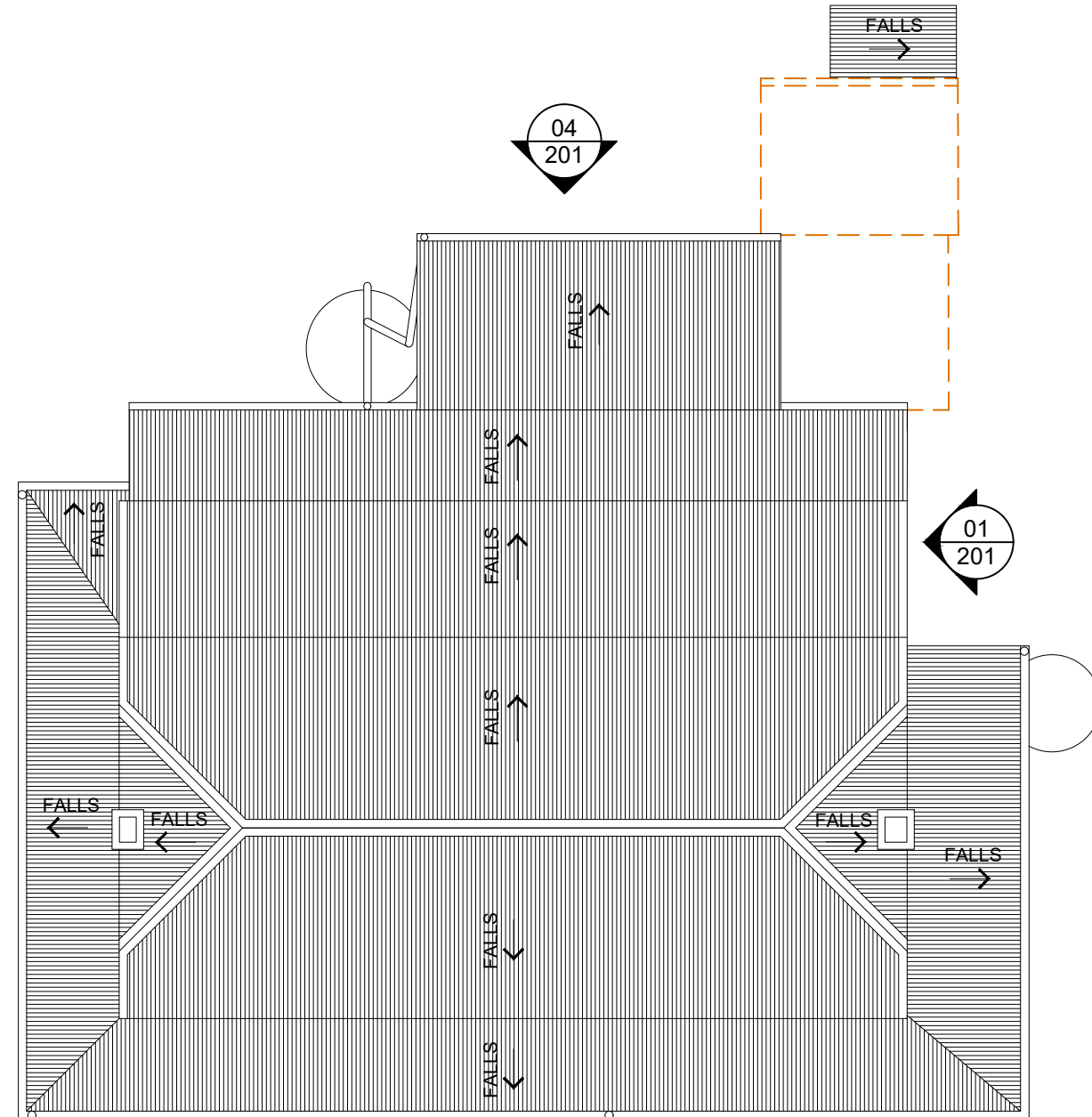
02 EAST ELEVATION
LAUNDRY
SCALE: 1:50



03 SOUTH ELEVATION
LAUNDRY AND WC
SCALE: 1:50



04 WEST ELEVATION
LAUNDRY
SCALE: 1:50



05 ROOF PLAN
HOUSE
SCALE: 1:100

NOTES:
THE LAUNDRY BUILDING IS TO BE
DEMOLISHED. CHECK STABILITY OF WC
BEFORE COMMENCING. ALLOW NEW POSTS
TO EAST SIDE OF ROOF - PROP
TEMPORARILY DURING WORKS.
ALLOW TO DISCONNECT AND CAP EXISTING
SERVICES TO LAUNDRY. RECORD
LOCATIONS FOR POSSIBLE FUTURE USE.

WEATHERBOARD CLADDING. NEW POST TO STRUCTURAL
ENGINEER'S DETAILS.

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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

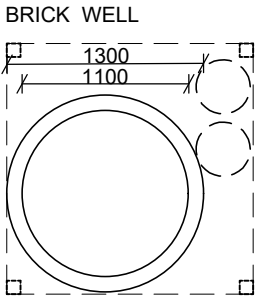
200MM

300MM ON ORIGINAL

JPA&D
ARCHITECTURE INTERIORS HERITAGE
SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU
Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT
DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT
PROJECT TITLE
HADLEY PARK STAGE 1
PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
MAIN HOUSE ROOF PLAN AND
LAUNDRY ELEVATIONS
SCALE
1:50
SHEET SIZE
A3
DESIGNED
MS
DRAWN
JP
CHECKED
JP
JOB No.
2110
DRAWING No.
WD202
REVISION
H



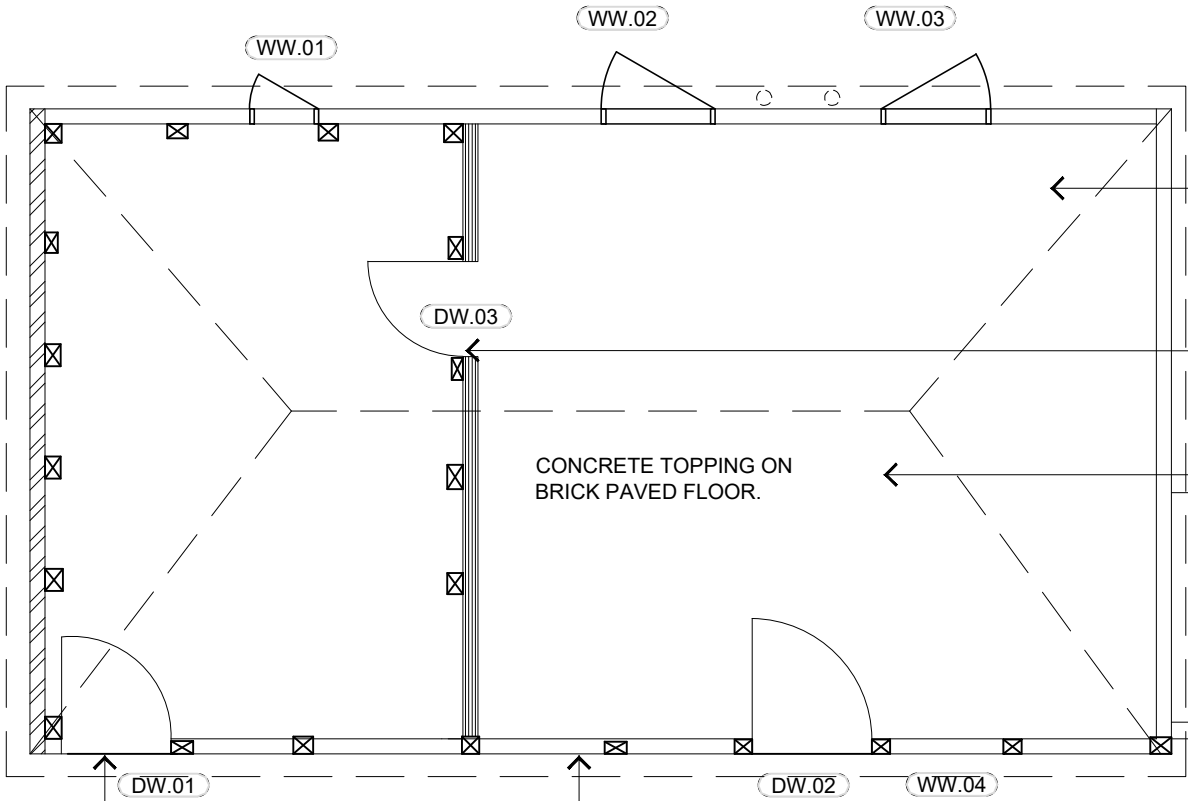
BRICK WELL

PREVIOUS WALLS, POSTS AND TANKS SHOWN DASHED. THESE WERE DEMOLISHED BY A STORM IN NOVEMBER 2021. ITEMS ARE CURRENTLY STORED IN THE FEED STORAGE SHED.

NOTES:
GENERAL:
RE-GRADE GROUND LEVELS TO FALL AWAY FROM BUILDING.

WORKS TO WELL:
NUMBER AND RECORD THE LOCATION OF THE BRICKS IN THE TOP 6 COURSES OF THE WELL.
DISMANTLE TOP 6 COURSES OF BRICKWORK, INVESTIGATE THE REASON FOR LIFTING IN THE COURSE BEDDING AT THE 6TH COURSE.
ADDRESS CAUSE AND RE-LAY. DRY LAY THE BRICKS IN THE SAME LOCATIONS AS PREVIOUSLY. FOR THE LAST 3 COURSES FILL PERPENDS WITH SUITABLE SOFT LIME MORTAR AND FLAUNCH AT BACK.
RE-GRADE GROUND SURFACE AROUND WELL TO PREVENT OVERLAND FLOW ENTERING THE WELL.
SPRAY FIRST 1.2m (OR AS FAR AS PRACTICAL REACH ALLOWS) WITH LIME MORTAR TO REDUCE SURFACE FRETTING.
ALLOW FOR ARCHEOLOGICAL SUPERVISION TO ALL WORKS TO WELL.

INTERNAL WORKS TO COTTAGE:
LIFT WIRE TIES TO ABOVE CEILING LEVEL.



REMOVE CONCRETE TOPPING
PROVIDE PROTECTIVE FLOOR
THAT ALLOWS ORIGINAL BRICK
FLOOR TO BE VIEWED AS PART
OF THE RESTORATION WORKS.

REPLACE WITH BOARDED AND
LEDGED DOOR. ASSESS
EXISTING STRAP HINGES FOR
RE-USE.

RECONSTRUCT AND REINSTALL
DOOR AND WINDOW JOINERY
THROUGHOUT INCLUDING
SHUTTERS ONCE REMEDIAL
STRUCTURAL WORKS ARE
COMPLETE.

EXISTING CHIMNEY REMNANTS.
RECONSTRUCT FIREPLACE TO
THE EXTENT POSSIBLE USING
EXISTING REMNANT FABRIC IN
CONSULTATION WITH
ARCHITECT. REFER TO IMAGE
ON WD302.

01 PLAN

WEATHERBOARD COTTAGE

1:50

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F	08/12/22	DEVELOPMENT APPLICATION	MS
G	14/12/22	DEVELOPMENT APPLICATION	MS

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

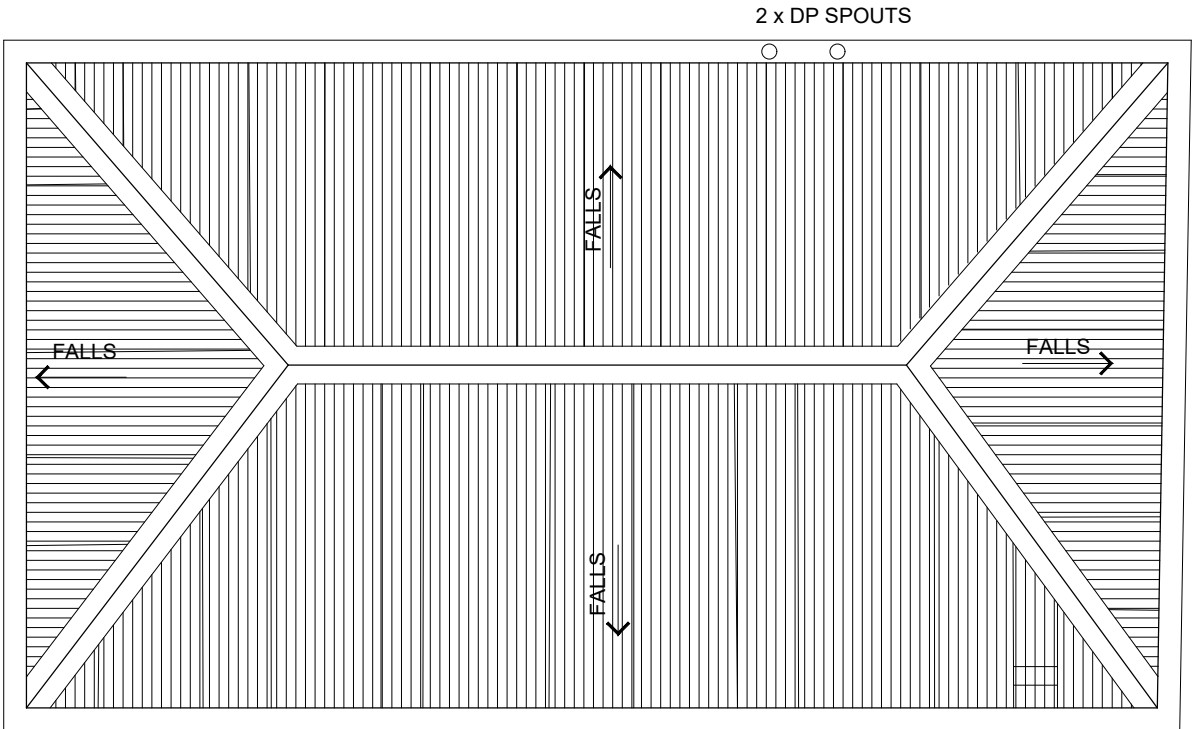
200MM

300MM ON ORIGINAL

02 ROOF PLAN

WEATHERBOARD COTTAGE

1:50



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DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

WEATHERBOARD COTTAGE
PLANS

SCALE SHEET SIZE

1:50 A3

DESIGNED DRAWN CHECKED

- MB JP

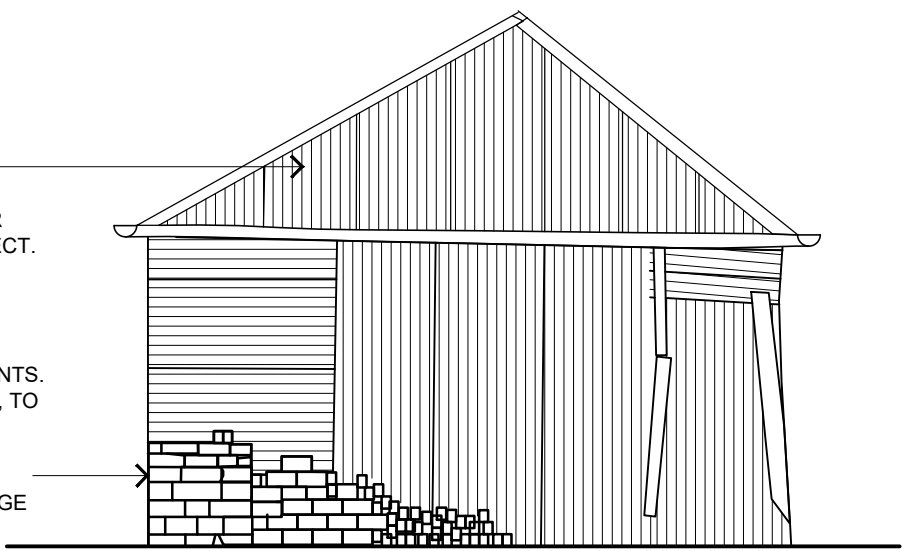
JOB No. DRAWING No. REVISION

2110 WD300 G

A3

REVIEW EXISTING ROOF
TIMBERS, IF NECESSARY
REPLACE TO MATCH AFTER
DISCUSSION WITH ARCHITECT.

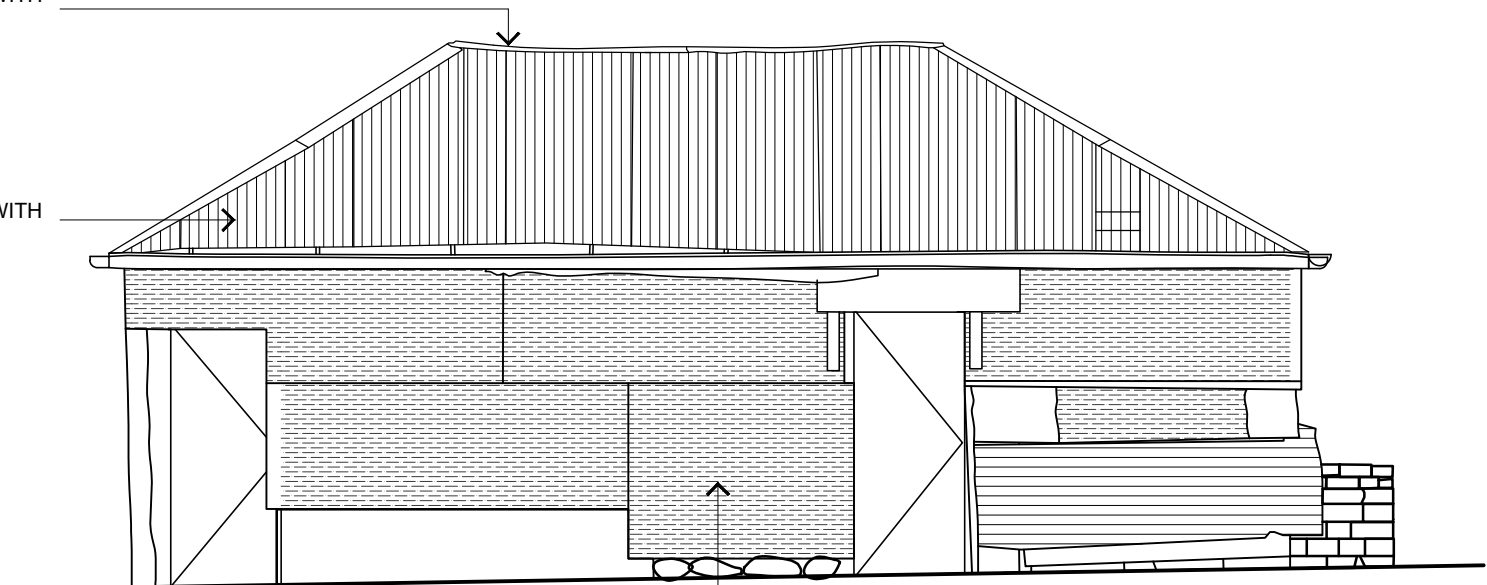
EXISTING CHIMNEY REMNANTS.
RECONSTRUCT FIREPLACE, TO
EXTENT POSSIBLE, USING
EXISTING FABRIC IN
CONSULTATION WITH
ARCHITECT. REFER TO IMAGE
ON WD302.



01 NORTH ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

TREAT ROOF WITH
'PENETROL'.

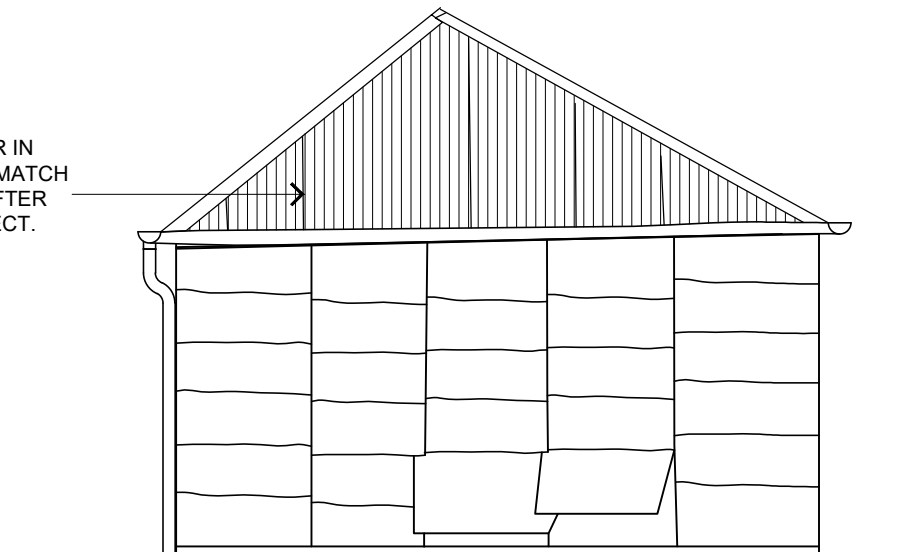
TREAT ROOF WITH
'PENETROL'.



02 EAST ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

REMOVE POLYCARBONATE SHEET AND PLANT
GROWTH BEHIND. INVESTIGATE MATERIAL BELOW
SHEETING AND DEVELOP REMEDIATION STRATEGY
ACCORDINGLY. REPAIR TIMBER SLABS AND
WEATHERBOARDS OF WALL CLADDING. WHERE
SLABS AND BOARDS CANNOT BE REUSED, REPLACE
WITH NEW TO MATCH EXISTING.

IDENTIFY DAMAGED TIMBER IN
CEILING AND REPLACE TO MATCH
EXISTING IF NECESSARY AFTER
DISCUSSION WITH ARCHITECT.



03 SOUTH ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

04 WEST ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

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DEPARTMENT OF PLANNING, INDUSTRY
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PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
WEATHERBOARD COTTAGE
ELEVATIONS

SCALE
1:50

SHEET SIZE
A3

DESIGNED
MS

DRAWN
JP

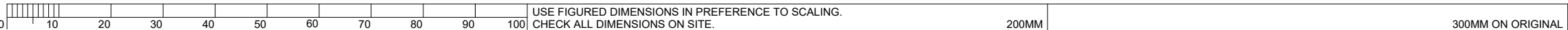
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JP

JOB No.
2110

DRAWING No.
WD301

REVISION
H

A3



USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.



01 HISTORIC IMAGE
-- WEATHERBOARD COTTAGE
NORTHEAST CORNER SHOWING CHIMNEY c.1950
IMAGE COURTESY OF FAMILY.



02 HISTORIC IMAGE
-- FRONT GATE
FORMER LOCATION AT FRONT GARDEN, 1986
IMAGE COURTESY OF PENRITH CITY LIBRARY



05 OVERVIEW
-- CHIMNEY PIECE TO SITTING ROOM, 2019
NORTHERN WALL



03 HISTORIC IMAGE
-- FRONT GATE
FORMER LOCATION AT FRONT GARDEN, c.1900
IMAGE COURTESY OF PENRITH CITY LIBRARY



04 STORED ELEMENTS OF GATE
-- FRONT GATE
CURRENTLY IN GUESTHOUSE, 2022



06 DETAIL IMAGES
-- OPENING JOINTS OF CHIMNEY PIECE, 2019
NORTHERN WALL



07 DETAIL IMAGES
-- SACRIFICIAL RENDER
EXTERNAL AND INTERNAL

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AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

REFERENCE IMAGES - GATE,
CHIMNEYS AND RENDER

SCALE SHEET SIZE

NTS A3

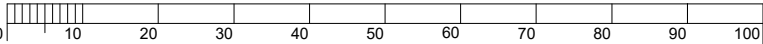
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2110 WD302 F

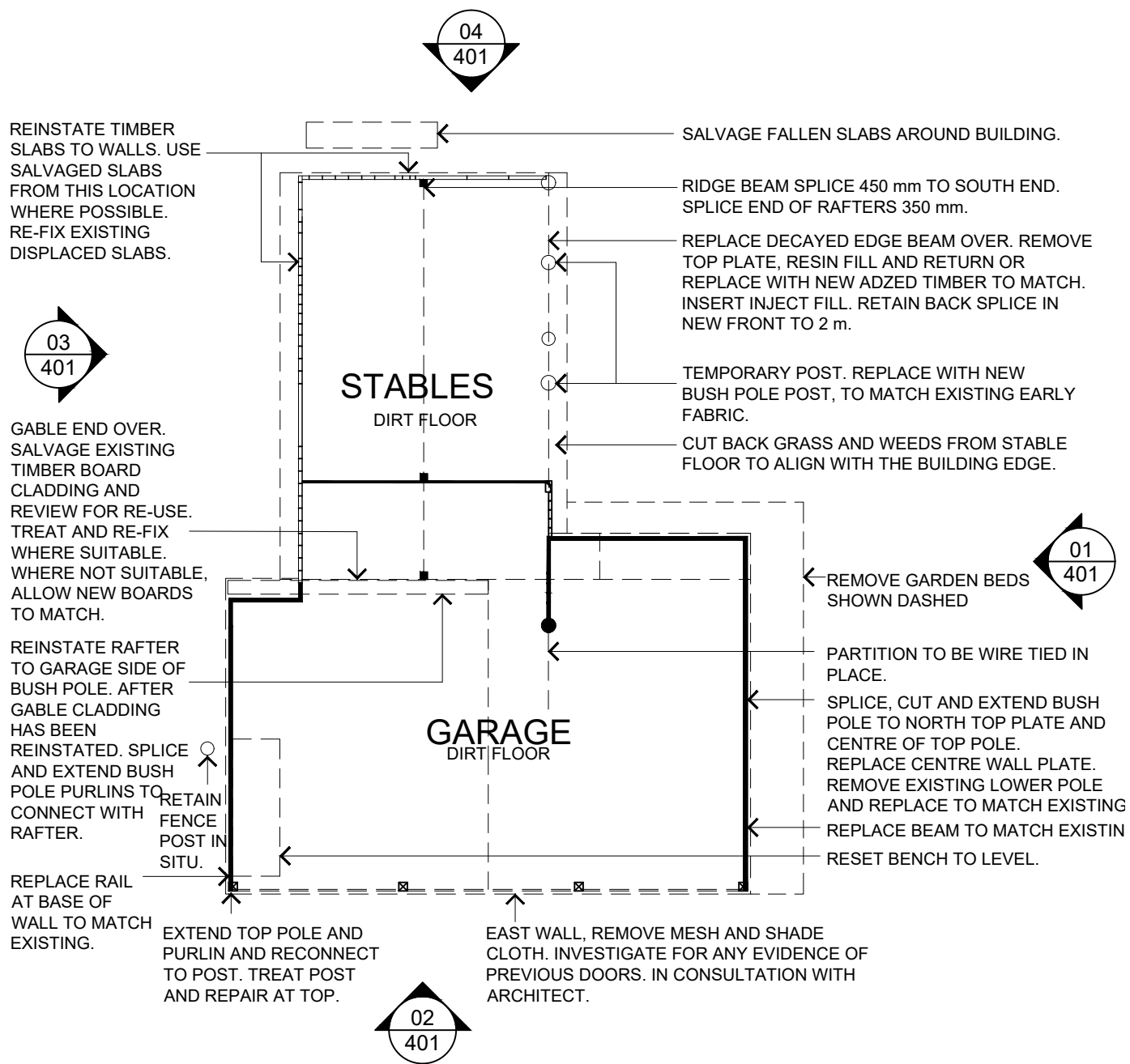
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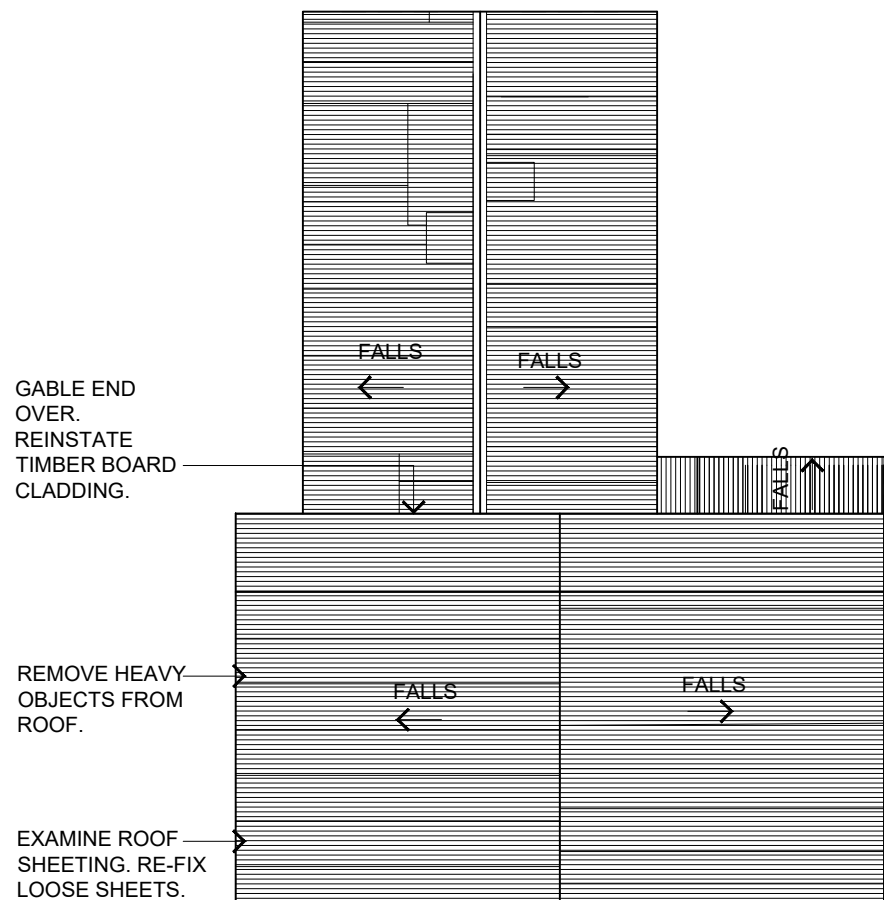
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



01
--
PLAN
STABLES AND GARAGE
1:100



02
--
ROOF PLAN
STABLES AND GARAGE
1:100

NOTES:
GENERAL:
SPLICE OR MAKE GOOD END GRAIN TO VERTICAL POSTS. THEN LEAD CAP EXTERNALLY TO STOP WATER PENETRATION. REPLACE RAIL AT BASE OF SOUTH WALL. CLEAN OUT WHITE ANT DIRT. ADDRESS GROUND LEVELS TO WEST. ADJUST SOIL LEVELS SO THAT THERE IS A POSITIVE FALL AWAY FROM THE BUILDING ON ALL SIDES.

ROOF:
SPLICE AND EXTEND GARAGE RIDGE BEAM. ALLOW 1.2 m LENGTH. PLUG RAFTERS AS NEED TO RETAIN RAFTERS. SOLDER HOLES IN ROOF SHEETING. PATCH 6 LARGER HOLES. SPLICE AND EXTEND 5 PURLINS TO EAST END. CLEAN RAFTERS AND INSPECT TO DETERMINE INTEGRITY. REPLACE DAMAGED ROOF SHEETS WITH SALVAGED MATERIAL. TREAT EXISTING ROOF SHEETING WITH 'PENETROL' OR SIMILAR.



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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



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HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

STABLES AND GARAGE
PLAN

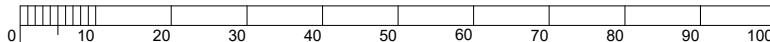
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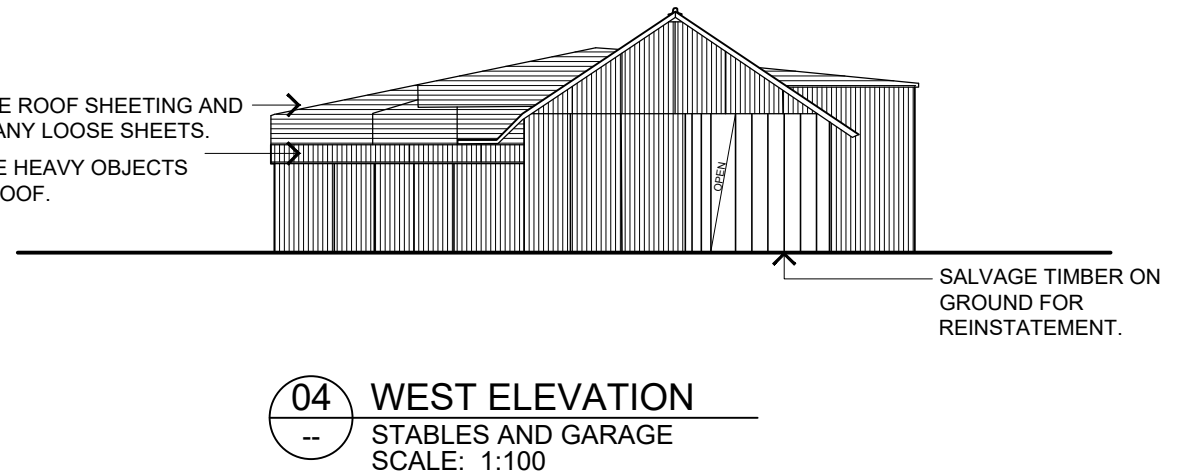
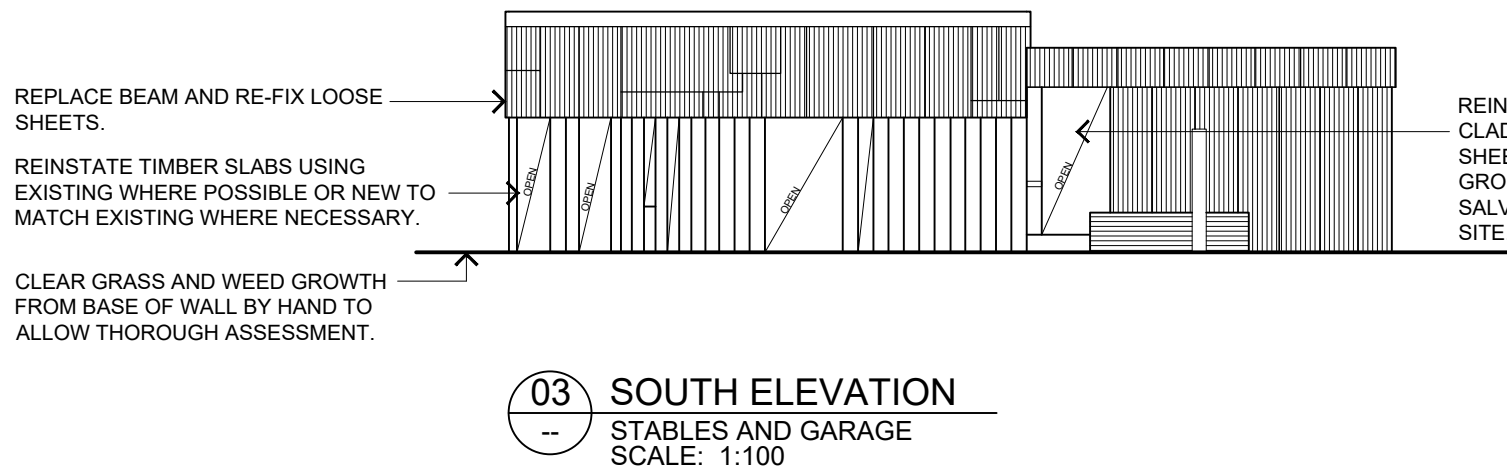
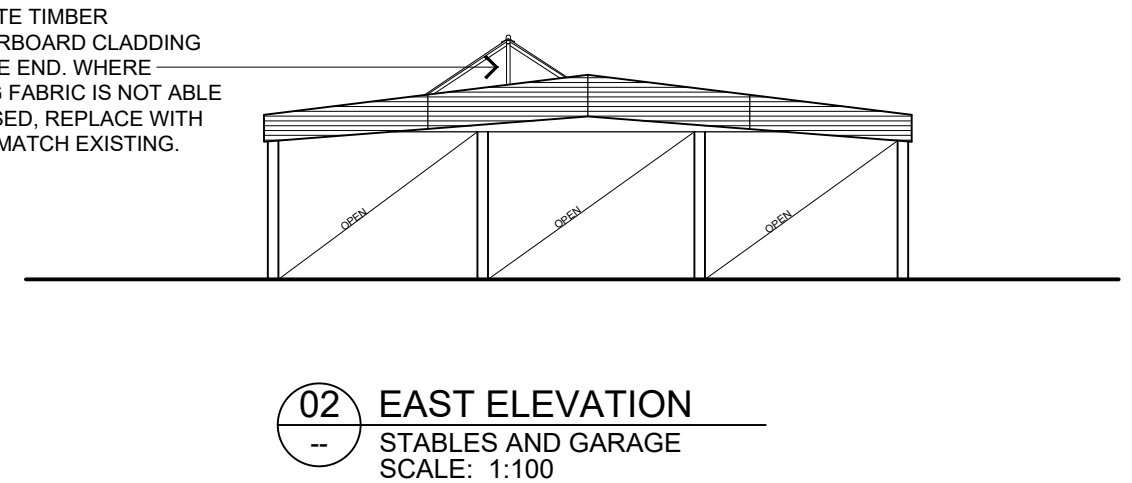
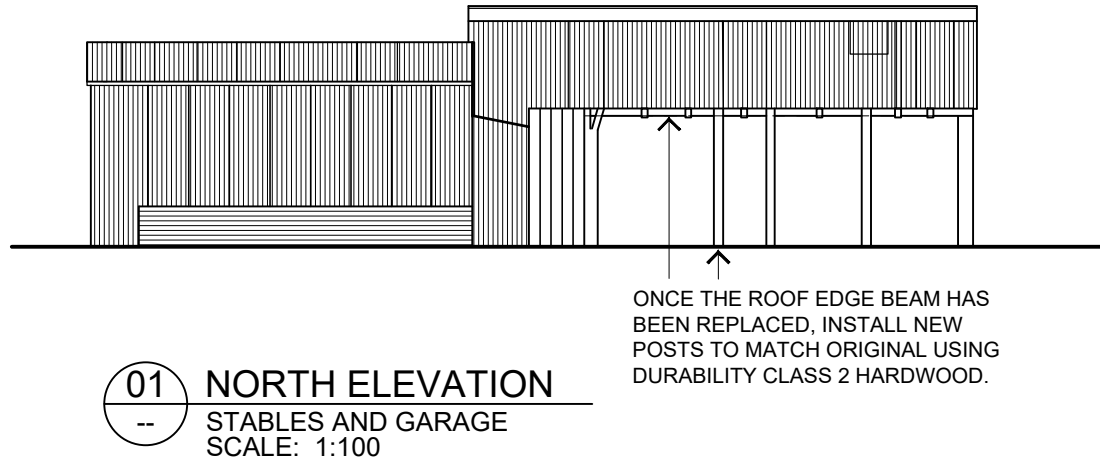
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2110 WD400 H





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Registration Number 6596

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DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
STABLES AND GARAGE
ELEVATIONS

SCALE
1:100

SHEET SIZE
A3

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MS

DRAWN
JP

CHECKED
JP

JOB No.
2110

DRAWING No.
WD401

REVISION
G

A3

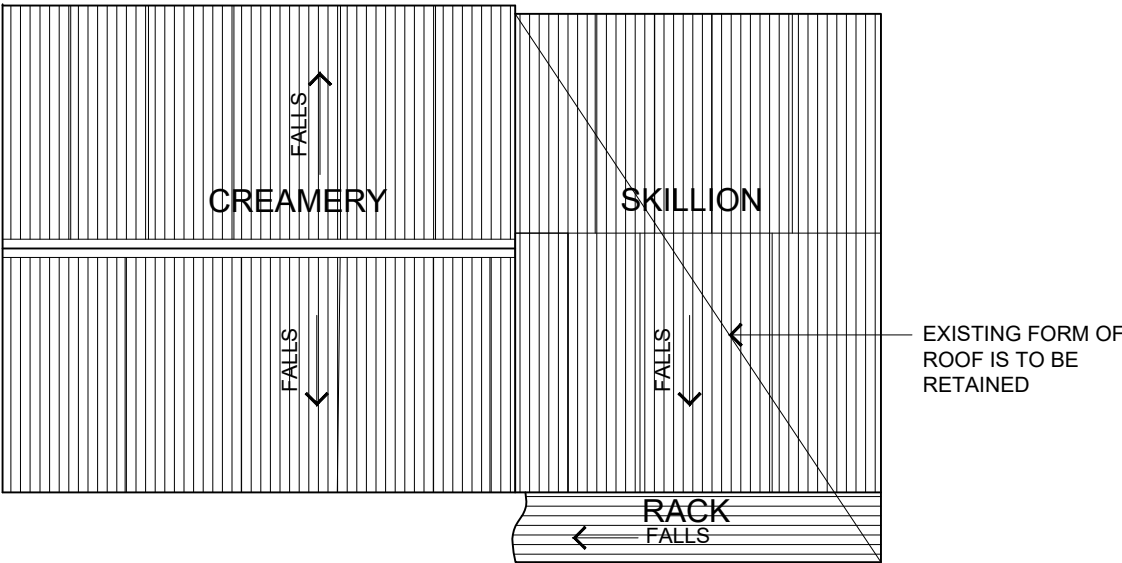
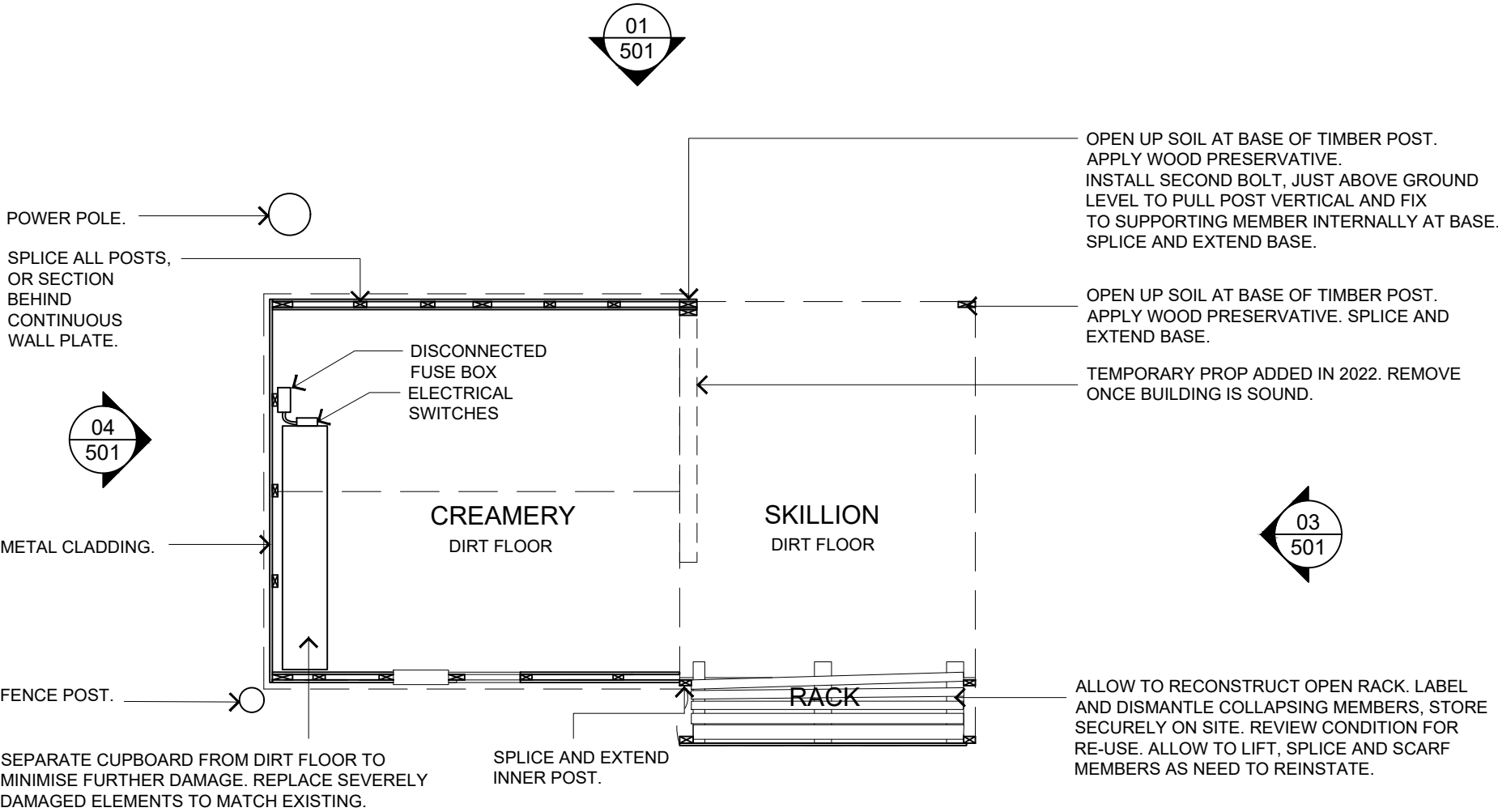
0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL

NOTES:
ROOF:
REINSTATE CEILING JOISTS IN EXISTING CUT OUTS TO CREAMERY ROOF.
METAL CLADDING TO SKILLION ROOF AND RACK WAS BENT TO EXISTING FORM. THIS FORM IS TO BE RETAINED WHEN REPLACING STRUCTURAL MEMBERS. ALLOW TEMPORARY PROPPING AS NECESSARY.



01
--
PLAN
CREAMERY
1:50

02
--
ROOF PLAN
CREAMERY
1:50

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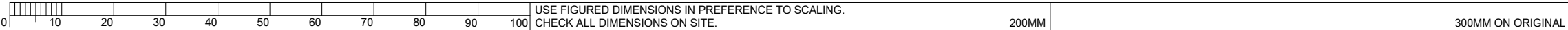
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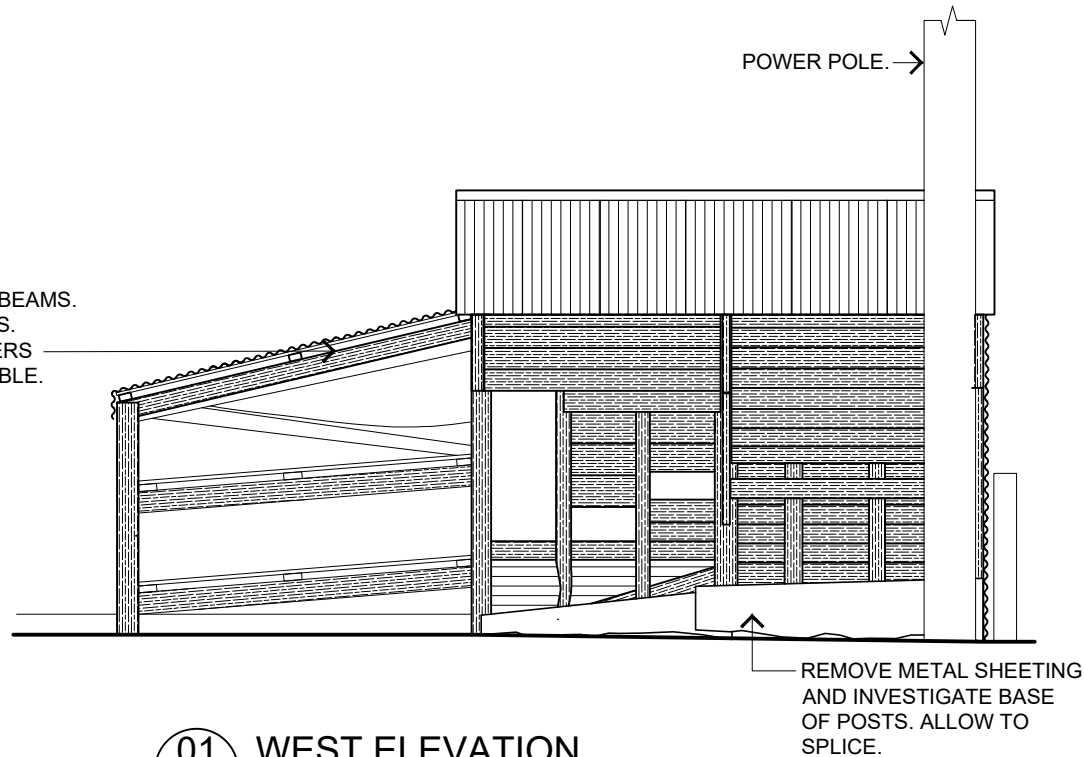
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PROJECT TITLE	
HADLEY PARK STAGE 1	
PROJECT ADDRESS	
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749	

DRAWING TITLE		
CREAMERY PLAN		
SCALE	SHEET SIZE	
1:50	A3	
DESIGNED	DRAWN	CHECKED
-	MB	JP
JOB No.	DRAWING No.	REVISION
2110	WD500	G

A3

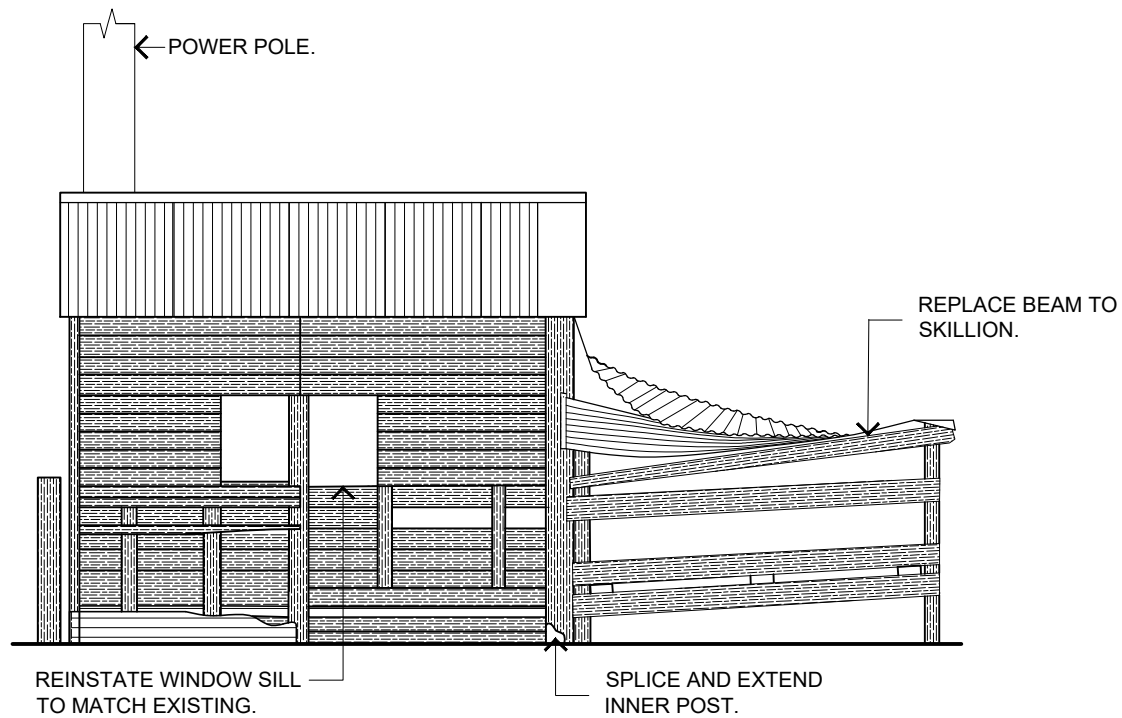


REPLACE LEAN-TO ROOF BEAMS.
REPLACE EASTERN POSTS.
USE RE-PURPOSED TIMBERS
FROM SITE WHERE POSSIBLE.



01 WEST ELEVATION
-- CREAMERY
SCALE: 1:50

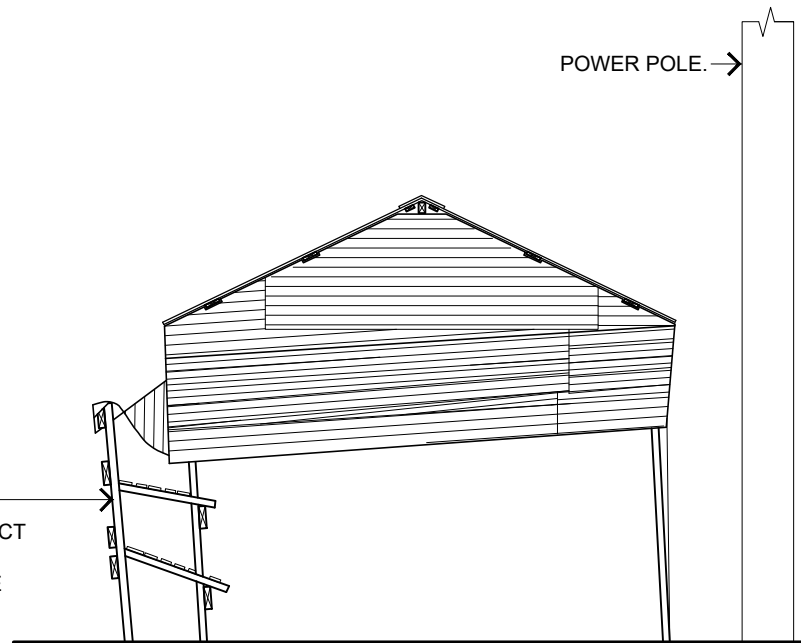
POWER POLE.



02 EAST ELEVATION
-- CREAMERY
SCALE: 1:50

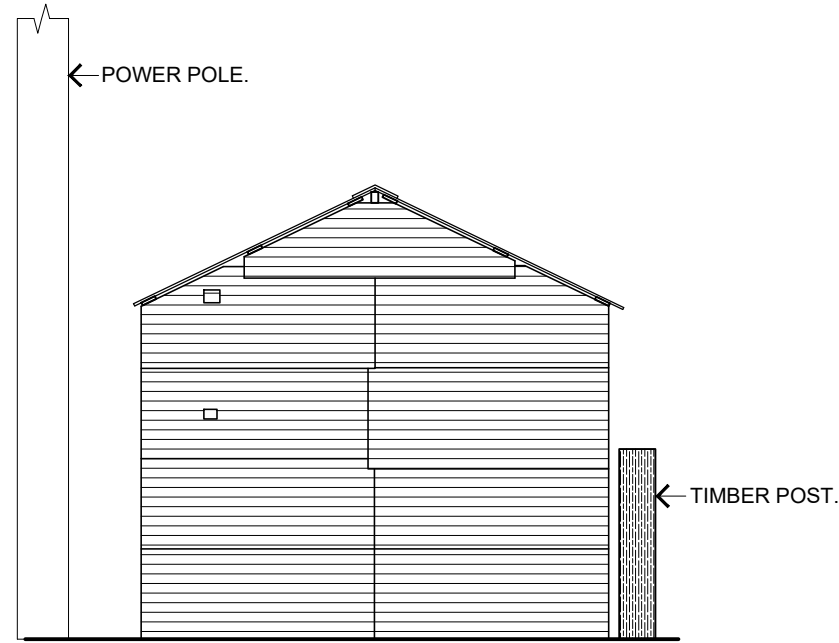
POWER POLE.

LABEL AND DISMANTLE
COLLAPSING MEMBERS AND
STORE SECURELY. RECONSTRUCT
SKILLION AND SHELVES USING
ORIGINAL COMPONENTS WHERE
POSSIBLE.



03 NORTH ELEVATION
-- CREAMERY
SCALE: 1:50

POWER POLE.



04 SOUTH ELEVATION
-- CREAMERY
SCALE: 1:50

NOTES:
GENERAL:
ALLOW POLE DIFFUSERS TO ALL POLES IN GROUND, NEW AND EXISTING.
APPLY WOOD PRESERVATIVE TO ALL EXPOSED ENDS OF TIMBER.
REPLACE MISSING AND SEVERELY DAMAGED WEATHERBOARDS TO MATCH EXISTING.
REPLACE DECAYED POSTS ON EAST AND WEST FACING WALLS.

ROOF:
REPLACE BEAMS TO SKILLION.
REPLACE LEAN TO ROOF BEAMS.
TREAT ROOF WITH 'PENETROL'.
REINSTATE CEILING JOISTS IN EXISTING CUT OUTS TO CREAMERY ROOF.
METAL CLADDING TO SKILLION ROOF AND RACK WAS BENT TO EXISTING FORM. THIS FORM IS TO BE RETAINED WHEN REPLACING STRUCTURAL MEMBERS. ALLOW TEMPORARY PROPPING AS NECESSARY.

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B	02/06/22	50% ISSUE	MS
C	13/07/22	ISSUE FOR REVIEW	ES
D	24/08/22	CONSULTANT COORDINATION	MS
E	13/10/22	SECTION 60 APPLICATION	MS
F	08/12/22	CONSULTANT INFORMATION	MS
G	14/12/22	DEVELOPMENT APPLICATION	MS

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
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Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

CREAMERY
ELEVATIONS

SCALE SHEET SIZE

1:50 A3

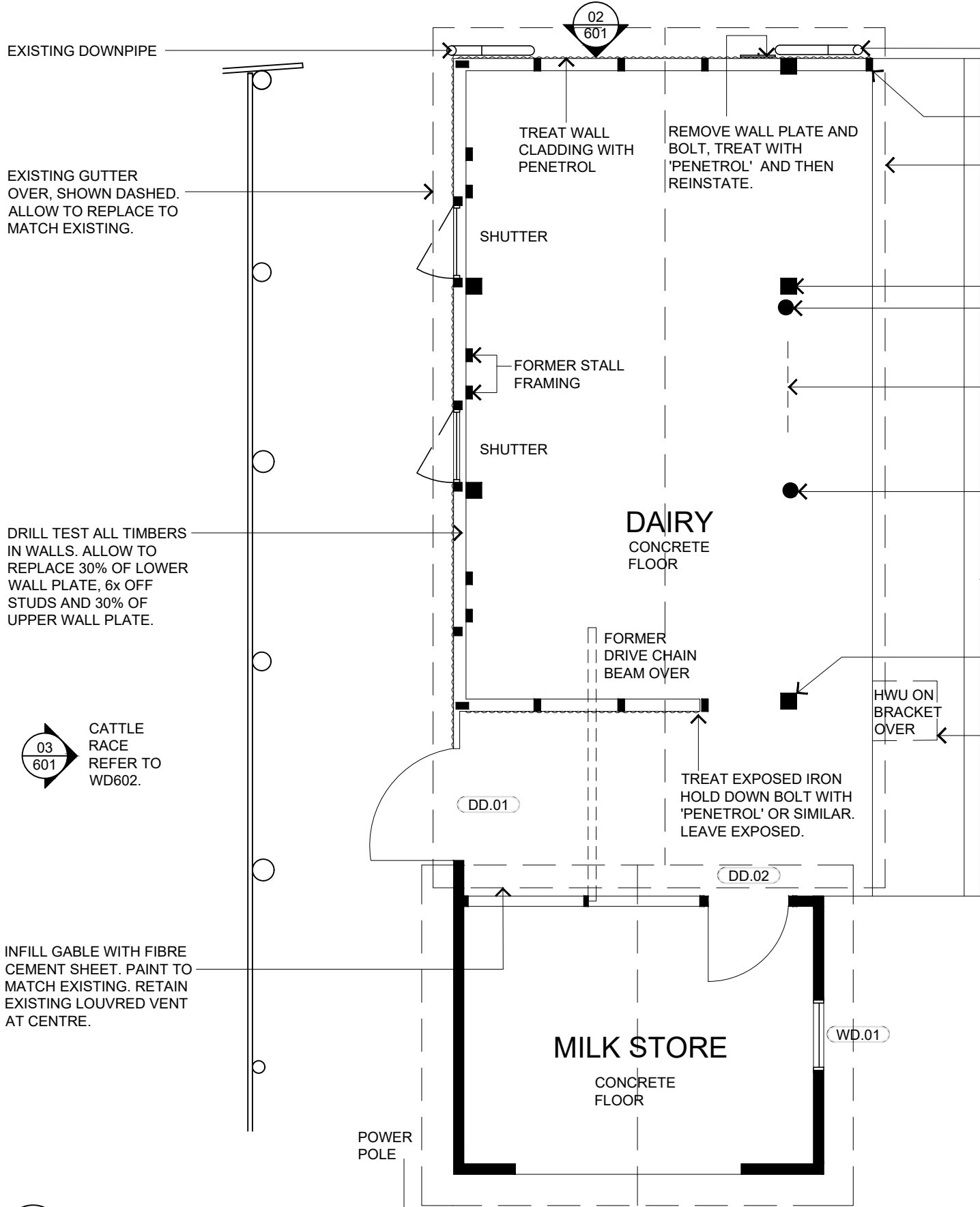
DESIGNED DRAWN CHECKED

MS MS JP

JOB No. DRAWING No. REVISION

2110 WD501 G

A3



01 PLAN
DAIRY AND MILK STORAGE SHED
1:50

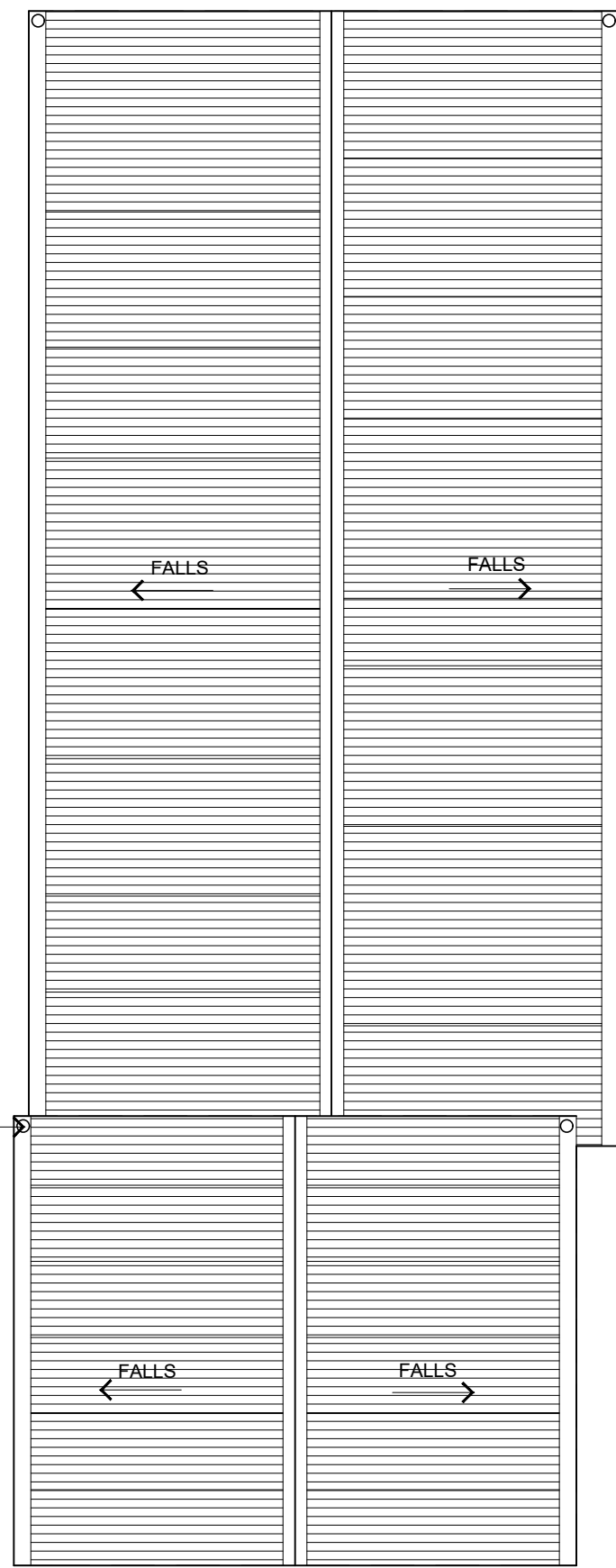
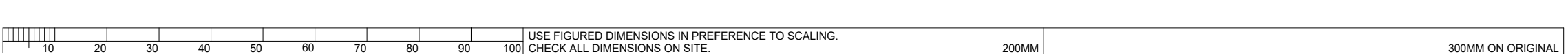
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F	08/12/22	CONSULTANT INFORMATION	MS
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02 ROOF PLAN
DAIRY AND MILK STORAGE SHED
1:50

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ARCHITECTURE INTERIORS HERITAGE

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DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
DAIRY AND MILK STORAGE SHED PLANS

SCALE
1:50

SHEET SIZE
A3

DESIGNED
-

DRAWN
MB

CHECKED
JP

JOB No.
2110

DRAWING No.
WD600

REVISION
G

NOTES:

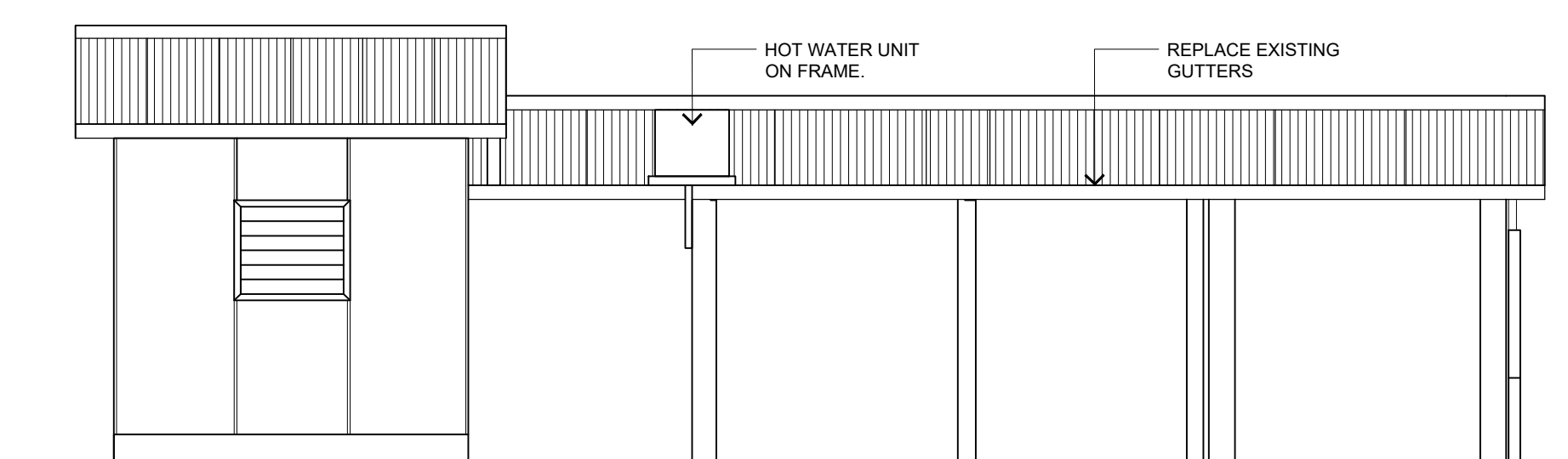
GENERAL:
REMOVE ALL VEGETATION FROM BUILDING INCLUDING FROM ROOF. ADJUST SOIL LEVELS SO THAT THERE IS A POSITIVE FALL AWAY FROM THE BUILDING ON ALL ELEVATIONS. ALONG THE WALLS THE CONCRETE IS DELAMINATING AT THE HOLD DOWN BOLTS THAT SECURE THE TIMBER FRAME ON TOP OF THE CONCRETE RENDERED BRICK WALLS. TREAT HOLD DOWN BOLTS WITH 'PENETROL'.

ROOF:
GENERALLY:
EXAMINE ALL ROOF SHEETS FOR DAMAGE. UNDO SHEETS AND TREAT RUST WITH 'PENETROL' OR SIMILAR, INCLUDING FIXING PENETRATIONS, THEN RE-FIX SHEETS.

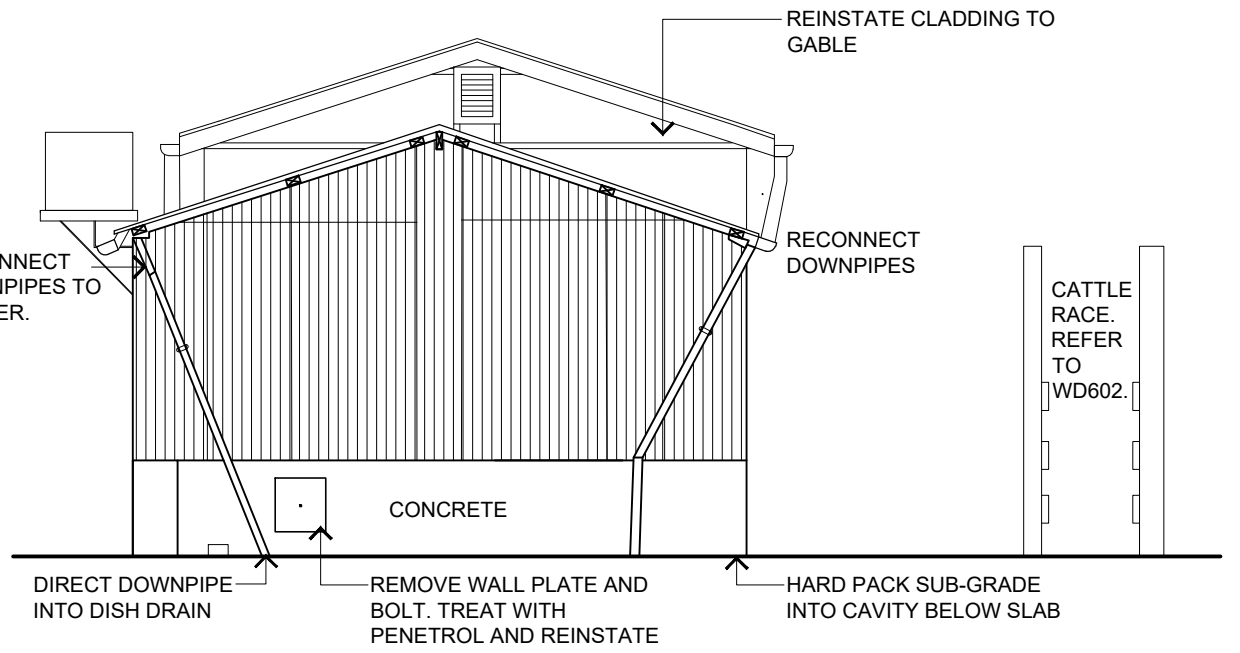
MILK STORE:
REPAIR ROOF TIMBERS WHERE DAMAGED AND REPLACE WHERE MISSING TO MATCH EXISTING.

DAIRY:
CHECK ROOF FOR DAMAGE. TREAT RUSTED AREAS WITH 'PENETROL'. REPAIR OR REPLACE DAMAGED SECTION OF RIDGE CAPPING. REPLACE GUTTERS AND RECONNECT DOWNPIPES.

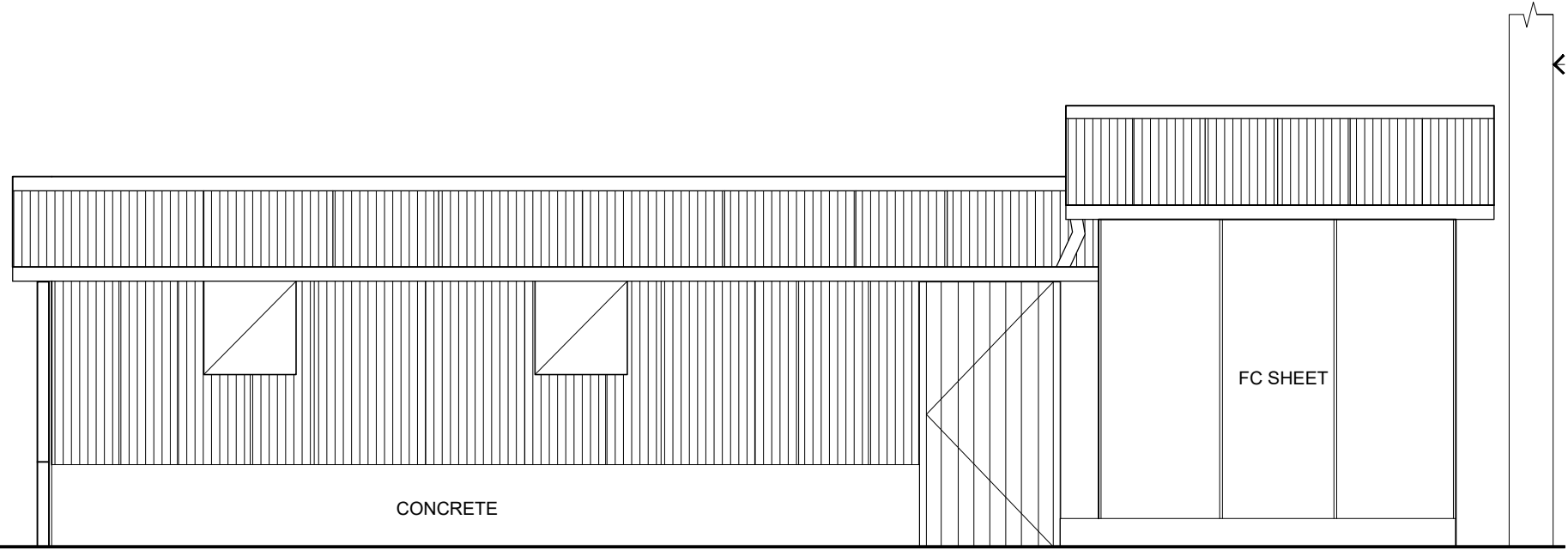
DOORS:
DD.01:
REPAIR LEDGED AND BRACED DOOR AND FRAME.
DD.02:
ADJUST DOOR AT BASE.



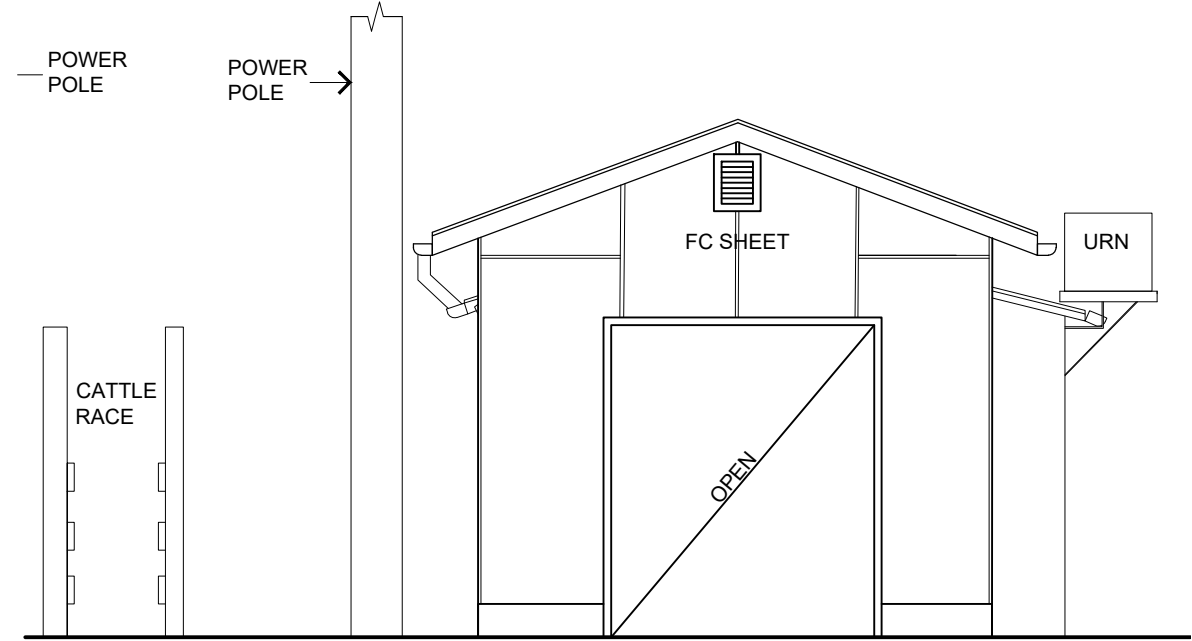
01 NORTH ELEVATION
DAIRY AND MILK STORAGE SHED
SCALE: 1:50



02 WEST ELEVATION
DAIRY AND MILK STORAGE SHED
SCALE: 1:50

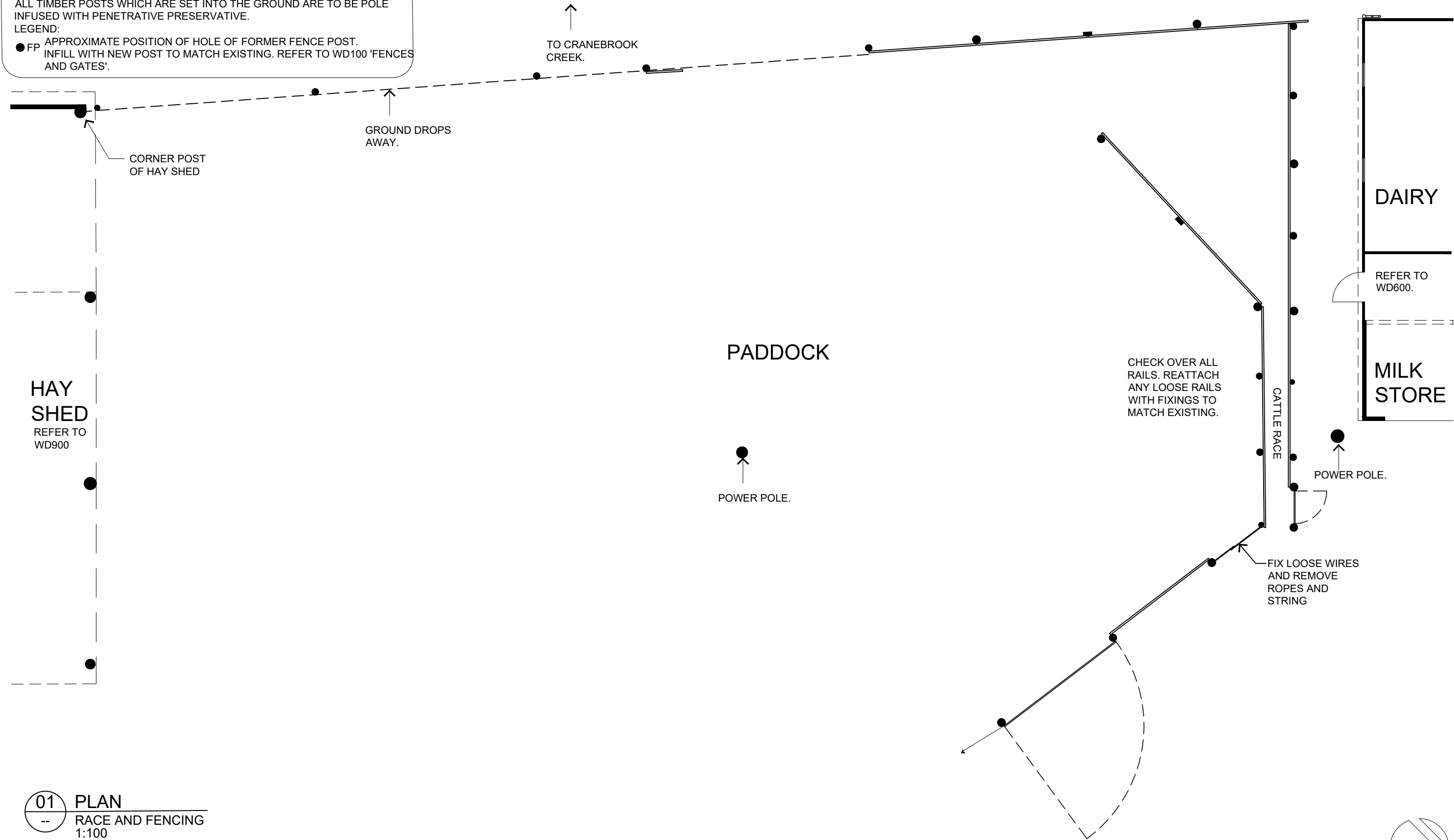


03 SOUTH ELEVATION
DAIRY AND MILK STORAGE SHED
SCALE: 1:50



04 EAST ELEVATION
DAIRY AND MILK STORAGE SHED
SCALE: 1:50

NOTES:
ALL TIMBER POSTS WHICH ARE SET INTO THE GROUND ARE TO BE POLE
INFUSED WITH PENETRATIVE PRESERVATIVE.
LEGEND:
● FP APPROXIMATE POSITION OF HOLE OF FORMER FENCE POST.
INFILL WITH NEW POST TO MATCH EXISTING. REFER TO WD100 'FENCES
AND GATES'.



01 PLAN
--
RACE AND FENCING
1:100

● FP

● FP

● FP

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JPA&D
ARCHITECTURE INTERIORS HERITAGE

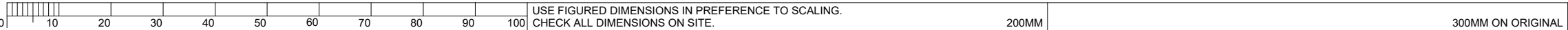
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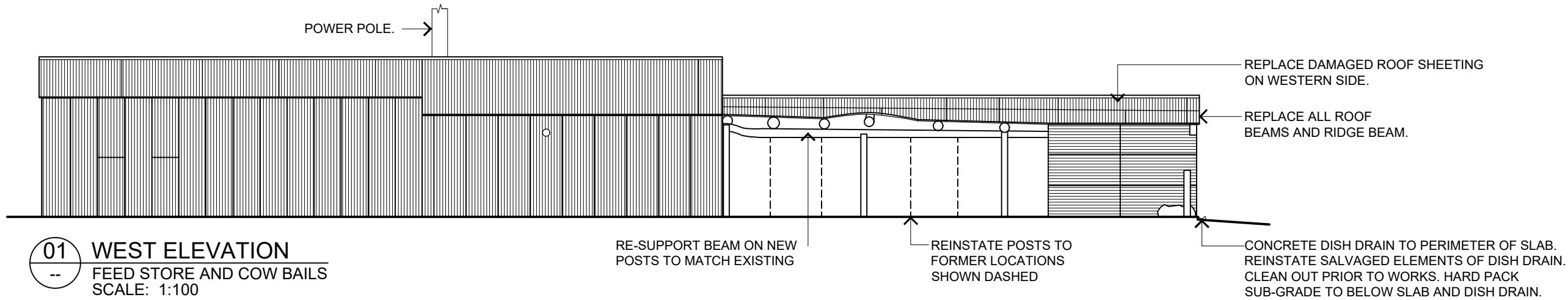
Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT		
DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT		
PROJECT TITLE		
HADLEY PARK STAGE 1		
PROJECT ADDRESS		
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749		

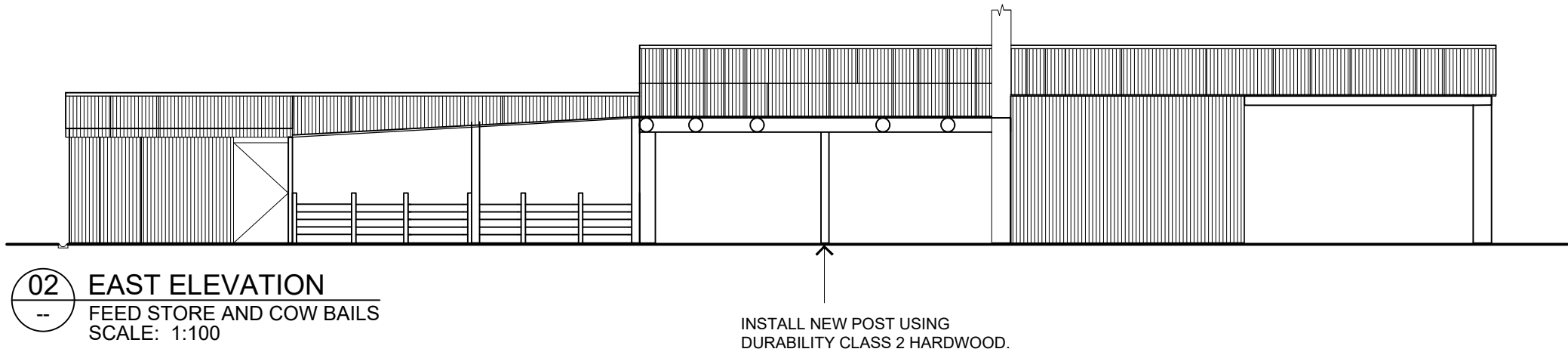
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RACE AND FENCING PLAN		
SCALE	SHEET SIZE	
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DESIGNED	DRAWN	CHECKED
-	AK	JP
JOB No.	DRAWING No.	REVISION
2110	WD602	F

A3

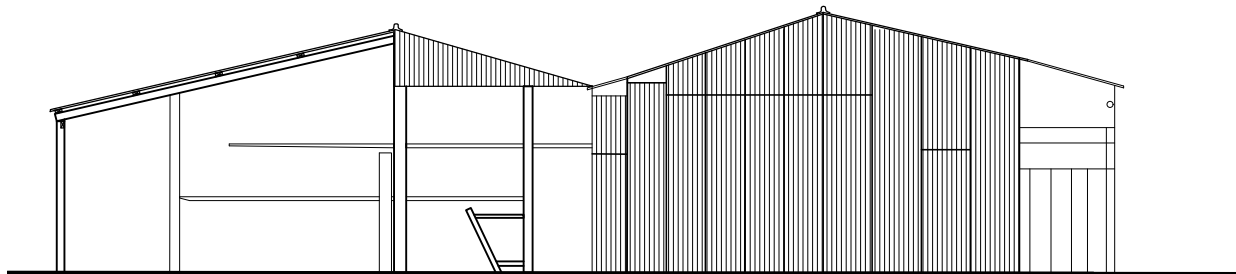




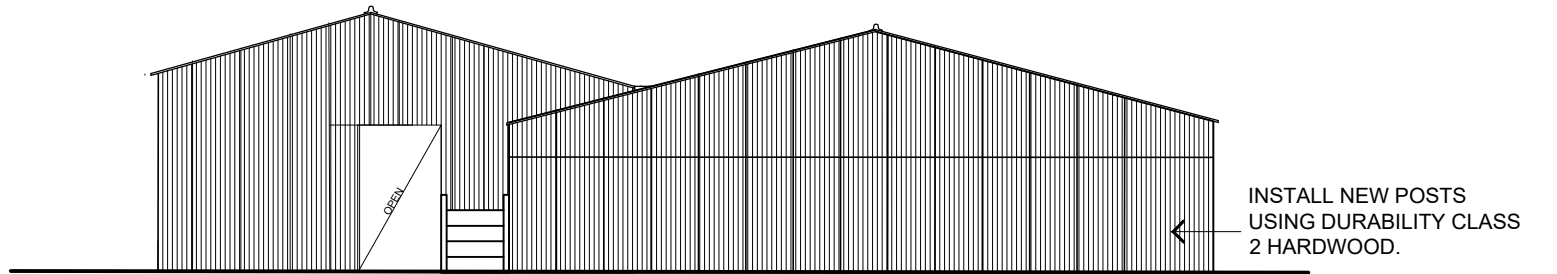
01 WEST ELEVATION
--
FEED STORE AND COW BAILS
SCALE: 1:100



02 EAST ELEVATION
--
FEED STORE AND COW BAILS
SCALE: 1:100



03 NORTH ELEVATION
--
FEED STORE AND COW BAILS
SCALE: 1:100



04 SOUTH ELEVATION
--
FEED STORE AND COW BAILS
SCALE: 1:100

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Registration Number 6596

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DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
FEED STORE AND COW BAILS
ELEVATIONS

SCALE
1:100

SHEET SIZE
A3

DESIGNED
MS

DRAWN
JP

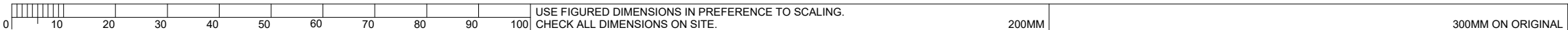
CHECKED
JP

JOB No.
2110

DRAWING No.
WD701

REVISION
G

A3



01 -- ROOF PLAN - EXISTING
FEED STORE AND COW BAILS
1:100

REMOVE ROOF SHEETING
TO DAIRY HEAD STALLS
AND SET ASIDE FOR
REINSTATEMENT

ALLOW TO REPLACE ROOF
BEAMS, RIDGE BEAMS
AND ALL BATTENS

REPAIR RAFTERS
THROUGHOUT. WHERE
REPAIR IS NOT POSSIBLE,
REPLACE WITH NEW TO
MATCH EXISTING

REINSTATE POSTS
UNDER TO FORMER
LOCATIONS

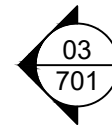
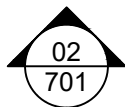
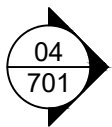
FEED STORAGE
SHED

STORAGE
SHED 1

STORAGE
SHED 2

DAIRY HEAD STALLS

ALLOW TO RESET ALL
ROOF LEVELS



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200MM

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DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

FEED STORE AND COW BAILS
ROOF PLAN

SCALE SHEET SIZE

1:100 A3

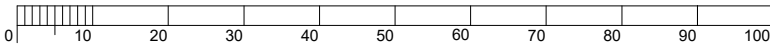
DESIGNED DRAWN CHECKED

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JOB No. DRAWING No. REVISION

2110 WD702 G

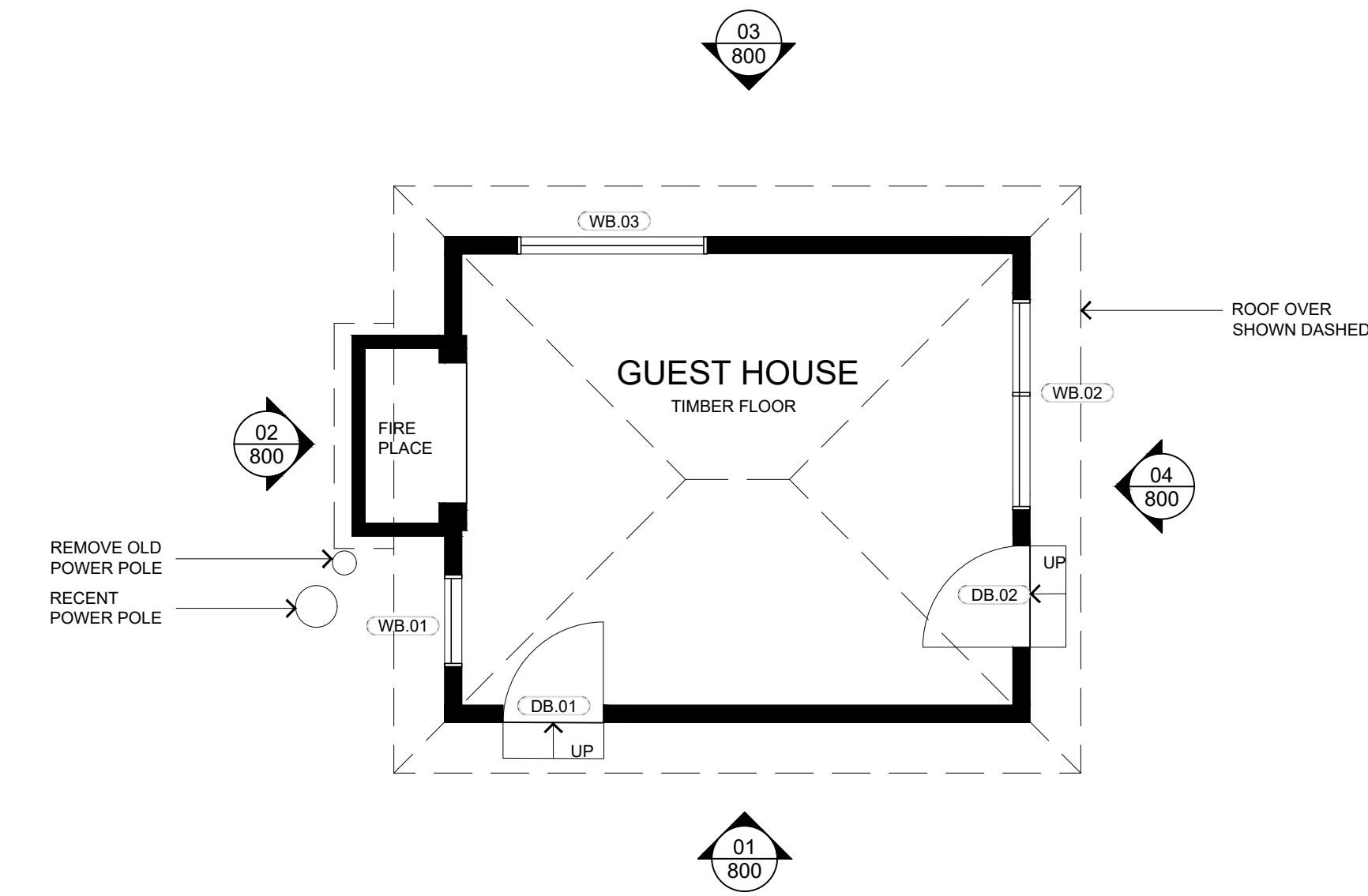
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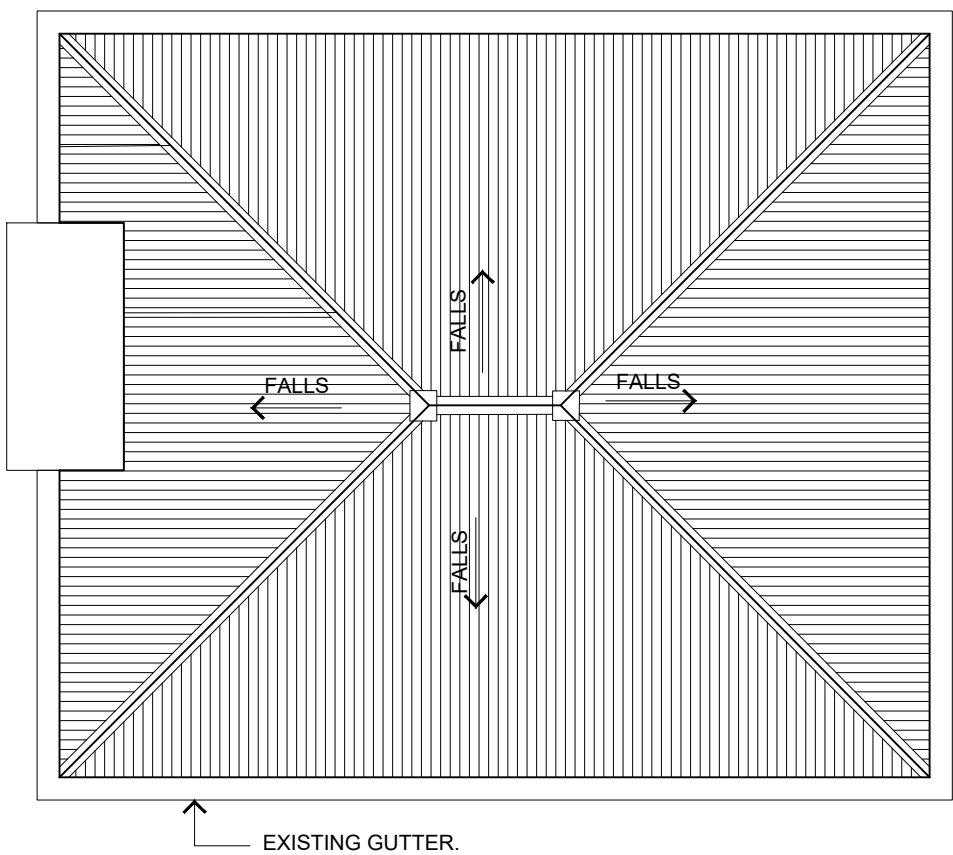
300MM ON ORIGINAL

NOTES:

THE GUEST HOUSE BUILDING IS TO BE DEMOLISHED. ALLOW TO DISCONNECT AND CAP EXISTING SERVICES. RECORD LOCATIONS FOR POSSIBLE FUTURE USE.



01 PLAN - EXISTING
-- GUEST HOUSE
1:50



02 ROOF PLAN - EXISTING
-- GUEST HOUSE
1:50

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H	14/12/22	DEVELOPMENT APPLICATION	MS

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ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09

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ULTIMO NSW 2007

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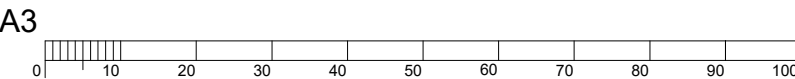
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Registration Number 6596

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PROJECT TITLE	
HADLEY PARK STAGE 1	
PROJECT ADDRESS	
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749	

DRAWING TITLE			
GUEST HOUSE PLAN - EXISTING			
SCALE		SHEET SIZE	
1:50		A3	
DESIGNED	DRAWN	CHECKED	
-	MB	JP	
JOB No.	DRAWING No.	REVISION	
2110	WD800	H	

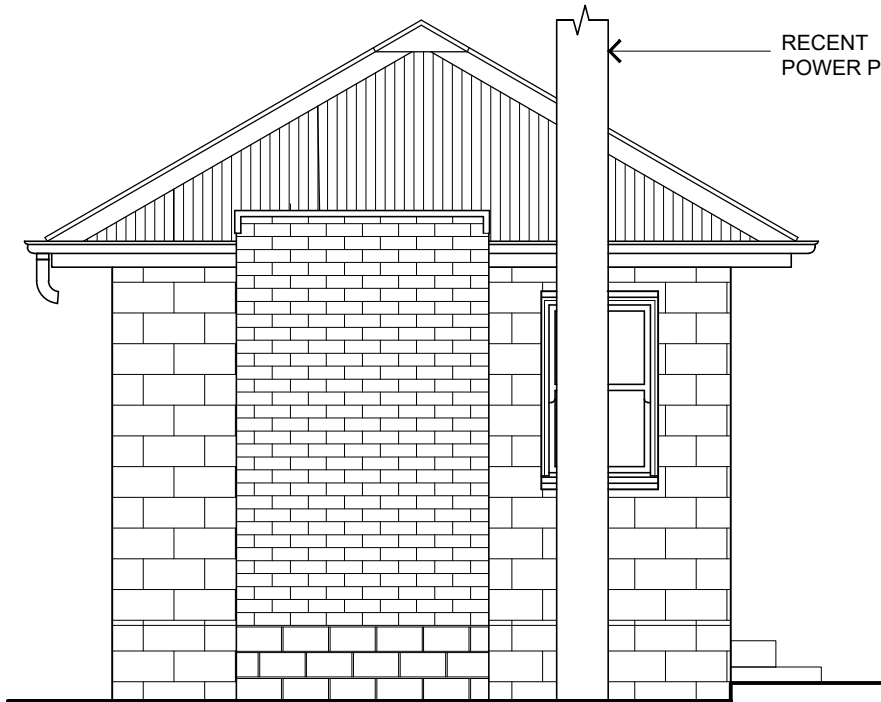


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300MM ON ORIGINAL

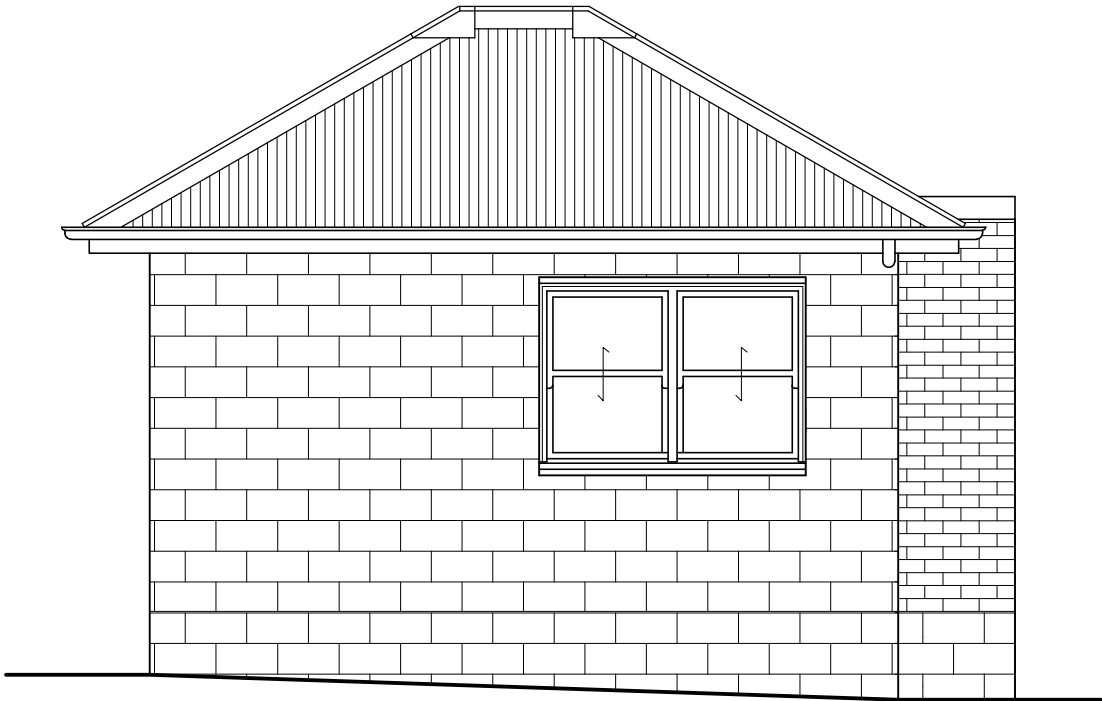


01 EAST ELEVATION
-- GUESTHOUSE
SCALE: 1:50



02 SOUTH ELEVATION
-- GUESTHOUSE
SCALE: 1:50

NOTES:
THE GUEST HOUSE BUILDING IS TO BE DEMOLISHED. ALLOW TO DISCONNECT AND CAP EXISTING SERVICES. RECORD LOCATIONS FOR POSSIBLE FUTURE USE.



03 WEST ELEVATION
-- GUESTHOUSE
SCALE: 1:50



04 NORTH ELEVATION
-- GUESTHOUSE
SCALE: 1:50

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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



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DEPARTMENT OF PLANNING, INDUSTRY
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PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

GUEST HOUSE
ELEVATIONS - EXISTING

SCALE SHEET SIZE

1:50 A3

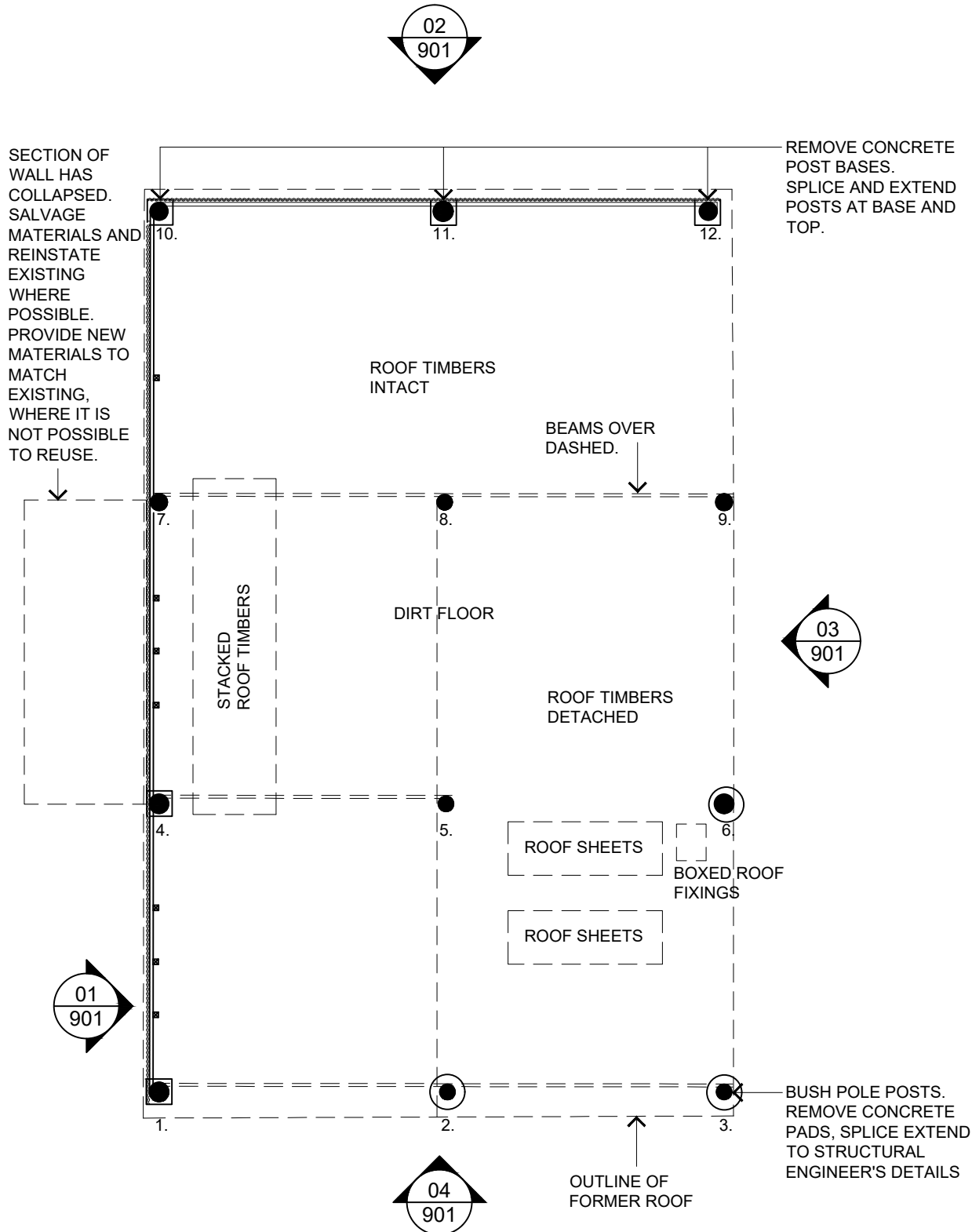
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MS JP

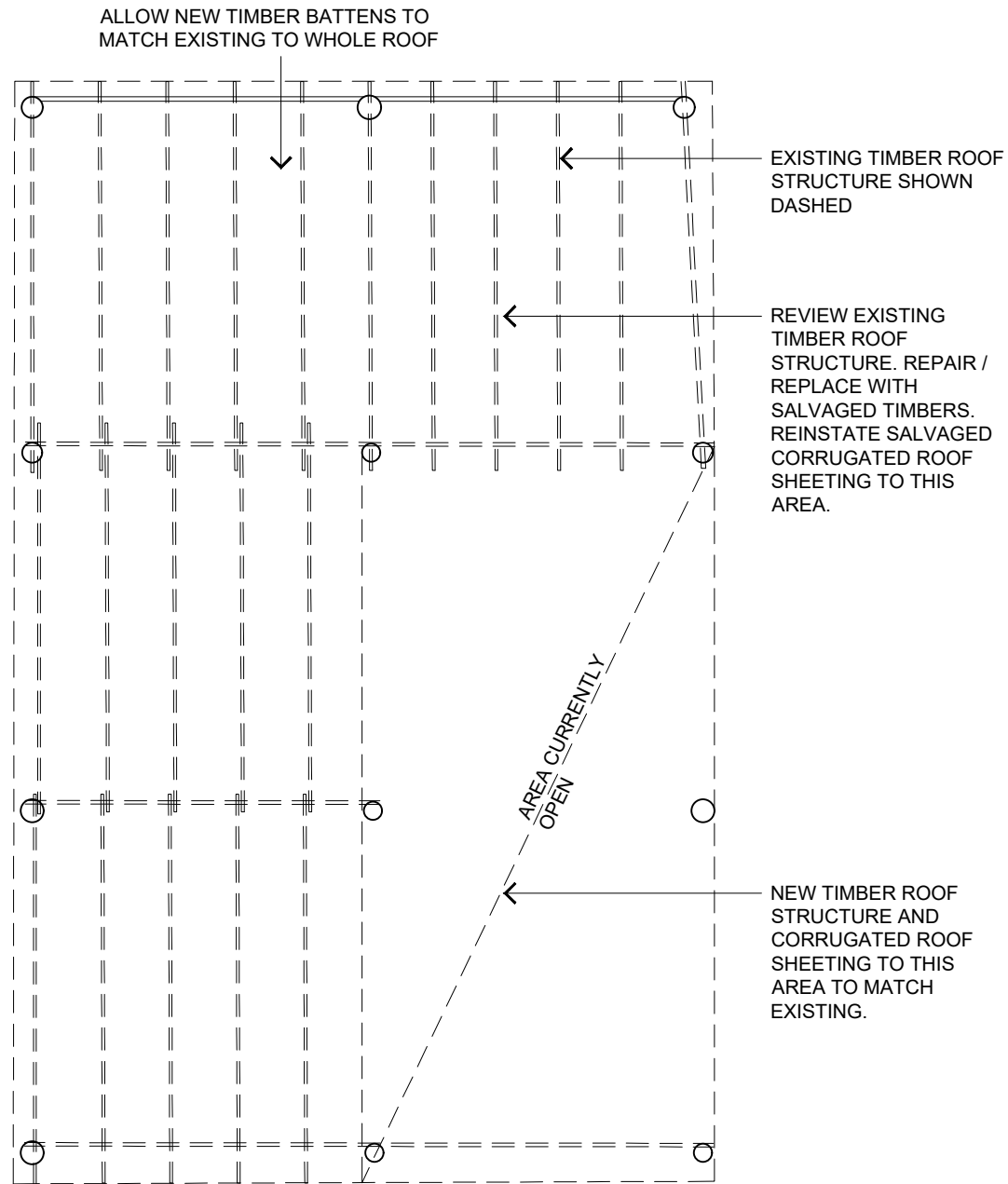
JOB No. DRAWING No. REVISION

2110 WD801 H

A3



01 PLAN
HAY SHED
1:100



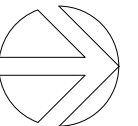
02 ROOF PLAN
HAY SHED
1:100

NOTES:
GENERAL:
IN ADDITION TO THOSE NOMINATED ON PLAN, ALLOW TO SPLICE AND EXTEND TOPS OF 5 x POSTS. ALLOW 1.2 m SPLICE AND ADD POLE DIFFUSER TO HOST SPLICE.
REMOVE TREE FROM SOUTH SIDE OF BUILDING. REMOVE GRASS AND VEGETATION IN BUILDING FOOTPRINT. RE-GRADE FLOOR TO PREVIOUS SURFACE.
REPLACE BOTTOM PLATES AND CHECK OVER WALL TIMBERS.
RETAIN ALL IRONMONGERY IN PLACE. TREAT FOR RUST WITH 'PENETROL'.
UNPACK STACKED AND BOXED MATERIALS SALVAGED FROM FORMER ROOF. REVIEW CONDITION FOR RE-USE.

ROOF:
ROOF IS TO BE REINSTATED TO PREVENT FURTHER DEGRADATION OF BUILDING. SALVAGED TIMBERS ARE TO BE USED WHERE POSSIBLE SOME EXISTING ROOF TIMBERS REMAIN. RE-SHEET THIS PART OF ROOF WITH SALVAGED SHEETING.
INSTALL NEW ROOF STRUCTURE TO MATCH EXISTING TO THE SECTION OF THE ROOF WHICH IS CURRENTLY OPEN, WITH NEW GALVANISED SHEETING. REPLACE ALL BATTENS WITH NEW TO MATCH EXISTING.
REPLACEMENT ROOF SHEETING TO BE SHORT SHEET LENGTHS. ALL ROOF SHEETING TO BE FIXED WITH BUGLE SCREWS. SPLICE AND EXTEND RAFTERS AT EACH END.
ALLOW TO REPLACE 12 RAFTERS. SALVAGE RAFTERS WHERE POSSIBLE. SPLICE AND EXTEND RAFTERS TO SOUTH EDGE OF ROOF.
TREAT ROOF SHEETING WITH 'PENETROL'.



03 IMAGE OF CONDITION
HAY SHED (12/2022)



GENERAL NOTES
All building work to comply with relevant Australian Standards.
No dimensions to be scaled or scanned from drawing.
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Contractor is responsible for correct setting out with particular reference to boundaries, building lines, etc. Contractor to verify all levels, heights and dimensions on site. Contractor is to locate and identify existing services on the site and to protect these from damage throughout the duration of the works. Any errors, discrepancies or omissions to be reported to architect immediately. Any queries arising from the above must be reported and clarified before works commence.

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REVISION			
A	15/02/22	FOR INFORMATION	MS
B	02/06/22	50% ISSUE	ES
C	13/07/22	ISSUE FOR REVIEW	ES
D	01/08/22	FINAL DRAFT FOR REVIEW	MS
E	24/08/22	CONSULTANT COORDINATION	MS
F	13/10/22	SECTION 60 APPLICATION	MS
G	08/12/22	CONSULTANT INFORMATION	MS
H	14/12/22	DEVELOPMENT APPLICATION	MS

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.



ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
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Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT
DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
HAY SHED PLANS
GROUND AND ROOF

SCALE
1:100

SHEET SIZE
A3

DESIGNED
-

DRAWN
MS

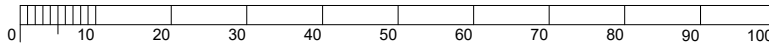
CHECKED
JP

JOB No.
2110

DRAWING No.
WD900

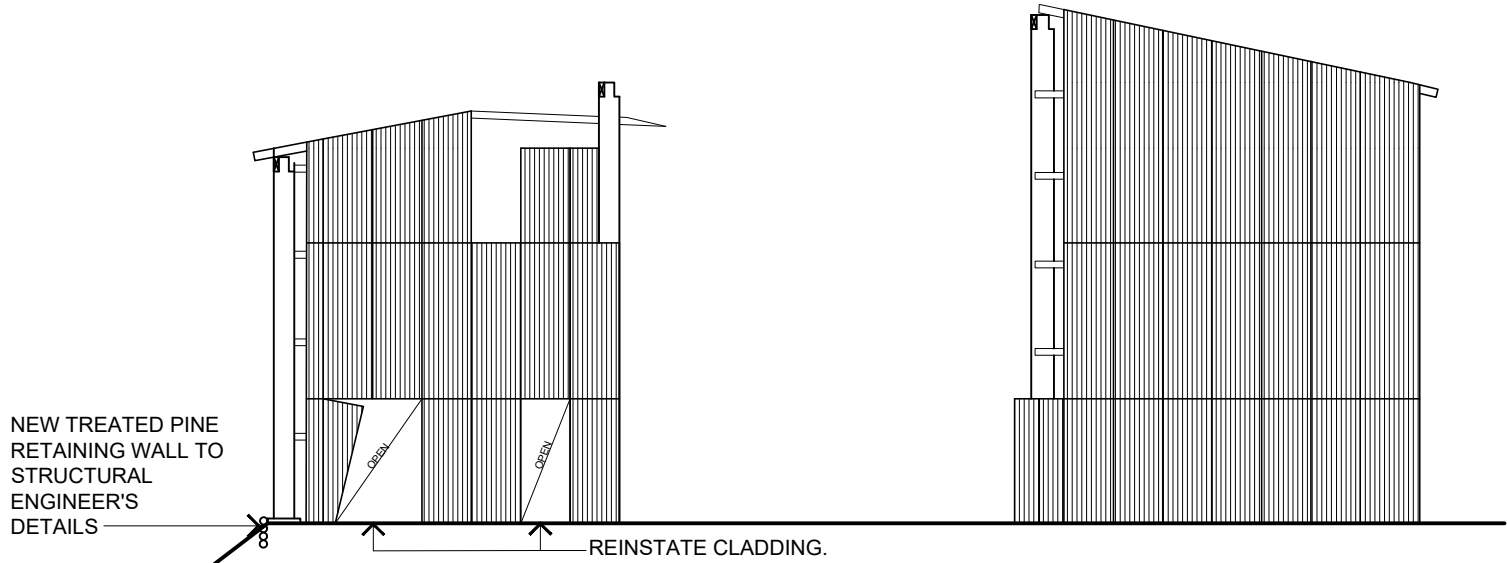
REVISION
H

A3

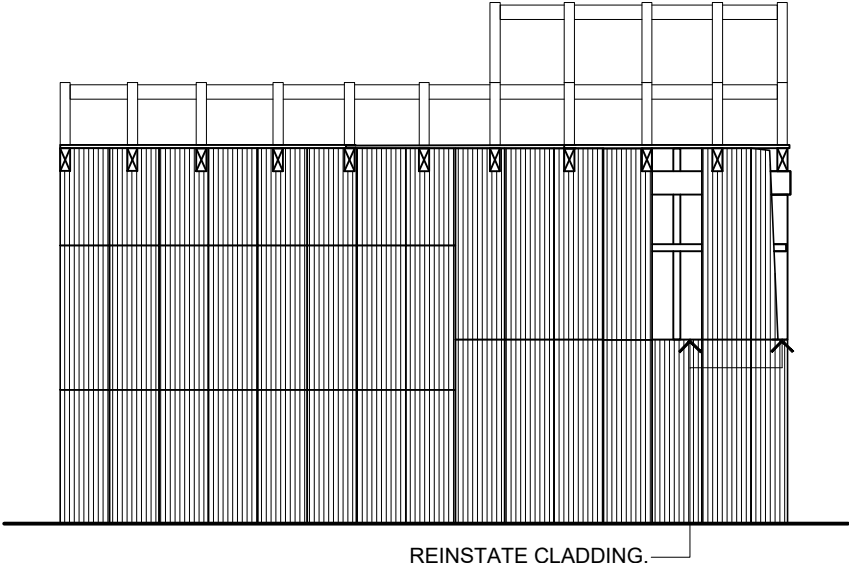


200MM

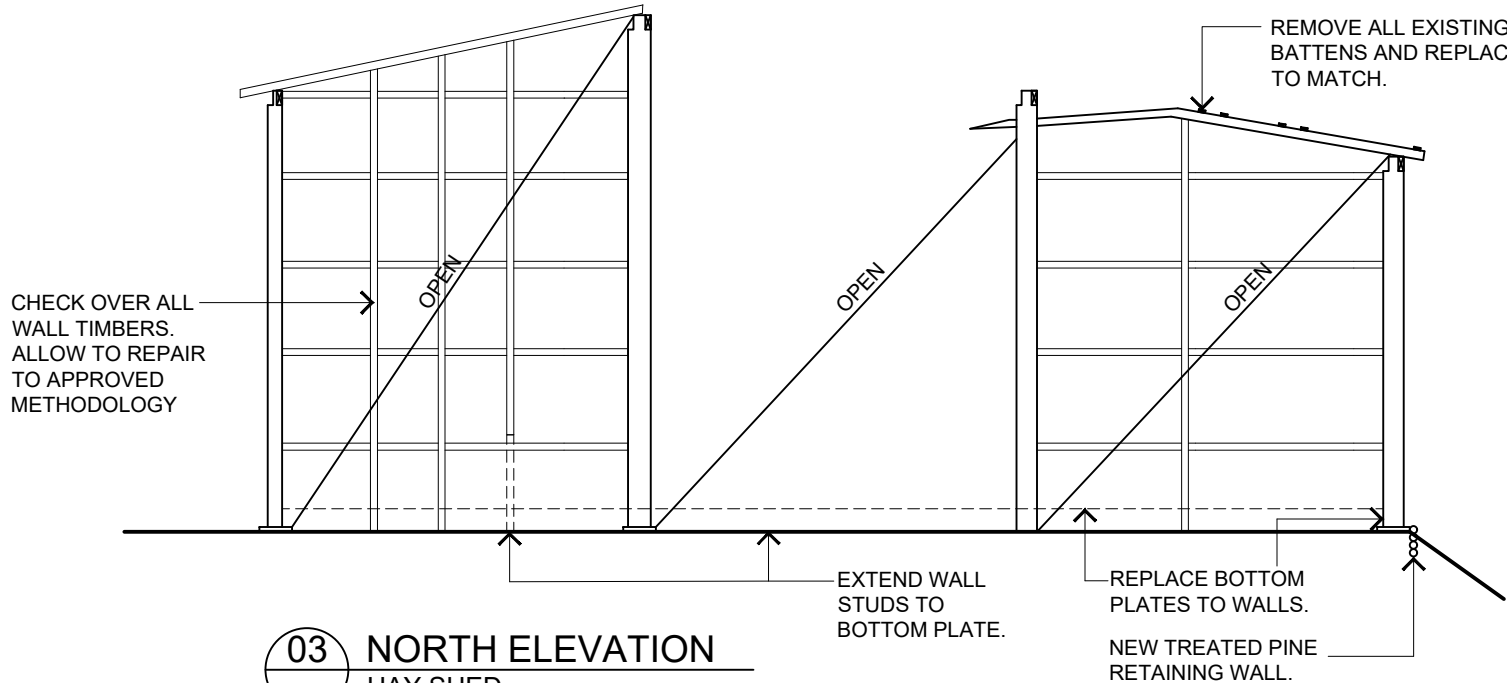
300MM ON ORIGINAL



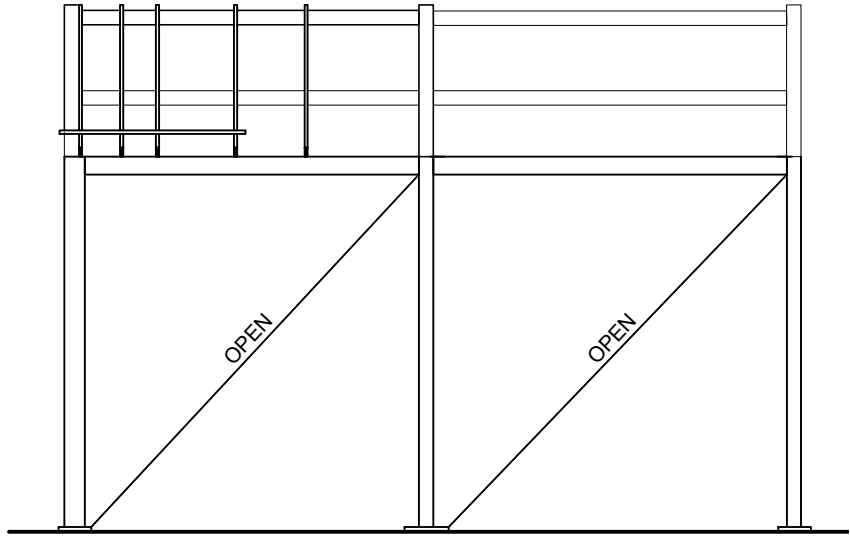
01 SOUTH ELEVATION
-- HAY SHED
SCALE: 1:100



02 WEST ELEVATION
-- HAY SHED
SCALE: 1:100



03 NORTH ELEVATION
-- HAY SHED
SCALE: 1:100
FRAMING OF SOUTH WALL SEEN IN BACKGROUND.



04 EAST ELEVATION
-- HAY SHED
SCALE: 1:100

NOTES:
GENERAL:
IN ADDITION TO THOSE NOMINATED ON PLAN, ALLOW TO SPLICE AND EXTEND TOPS OF 5 x POSTS. ALLOW 1.2 m SPLICE AND ADD POLE DIFFUSER TO HOST SPLICE.
REMOVE TREE FROM SOUTH SIDE OF BUILDING. REMOVE GRASS AND VEGETATION IN BUILDING FOOTPRINT. RE-GRADE FLOOR TO PREVIOUS SURFACE.
REPLACE BOTTOM PLATES AND CHECK OVER WALL TIMBERS.
RETAIN ALL IRONMONGERY IN PLACE. TREAT FOR RUST WITH 'PENETROL'.
UNPACK STACKED AND BOXED MATERIALS SALVAGED FROM FORMER ROOF. REVIEW CONDITION FOR RE-USE.

ROOF:
ROOF IS TO BE REINSTATED TO PREVENT FURTHER DEGRADATION OF BUILDING. SALVAGED TIMBERS ARE TO BE USED WHERE POSSIBLE SOME EXISTING ROOF TIMBERS REMAIN. RE-SHEET THIS PART OF ROOF WITH SALVAGED SHEETING.
INSTALL NEW ROOF STRUCTURE TO MATCH EXISTING TO THE SECTION OF THE ROOF WHICH IS CURRENTLY OPEN, WITH NEW GALVANISED SHEETING. REPLACE ALL BATTENS WITH NEW TO MATCH EXISTING.
REPLACEMENT ROOF SHEETING TO BE SHORT SHEET LENGTHS. ALL ROOF SHEETING TO BE FIXED WITH BUGLE SCREWS. SPLICE AND EXTEND RAFTERS AT EACH END.
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DRAWING TITLE		
HAY SHED ELEVATIONS		
SCALE	SHEET SIZE	
1:100	A3	
DESIGNED	DRAWN	CHECKED
	MS	JP
JOB No.	DRAWING No.	REVISION
2110	WD901	H

A3



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CHECK ALL DIMENSIONS ON SITE.